



MONROE COUNTY

Environment and Public Works Committee

November 22, 2021 5:15 PM

AGENDA

A. ROLL CALL

B. SUSPENSION OF THE RULES

Be It Moved, that Article II, Section 545-6 of the Rules of the Monroe County Legislature, be, and hereby is suspended and modified by prohibiting public in-person access to the Committee Meeting in favor of video viewing or listening to, and recording and later transcription of such proceeding.

C. PUBLIC FORUM

D. PRESENTATION

Robert Franklin, Chief Financial Officer, Proposed 2022 Monroe County Budget, as it pertains to the Environment & Public Works Committee

E. APPROVAL OF MINUTES

October 25, 2021

F. NEW BUSINESS

21-0410

Amend the 2021 Capital Budget and Bond Resolution 365 of 2020 to Provide an Increase in Funding and Authorize a Contract with Passero Associates, Architecture & Surveying, D.P.C. for Design Services for the Access/Circulation Roadway Improvements Project at the Frederick Douglass - Greater Rochester International Airport - County Executive Adam J. Bello

21-0411

Authorize a Contract with M/E Engineering, P.C. for Professional Engineering Services for the Civic Center Complex Reconstruction Project - County Executive Adam J. Bello

21-0412

Authorize Contracts with Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; Erdman, Anthony and Associates, Inc.; LaBella Associates, D.P.C.; Popli Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. for Monroe Community College Engineering and Architectural Term Services - County Executive Adam J. Bello

21-0413

Authorize Contracts with C&S Architects, Engineers & Landscape Architect, PLLC and CPL Architects, Engineers, Landscape Architect and Surveyor, D.P.C. for Monroe Community Hospital Architectural and Engineering Term Services - County Executive Adam J. Bello

21-0414

Authorize Contracts with Barton & Loguidice, D.P.C.; Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; LaBella Associates, D.P.C.; Popli Architecture +Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. for General Engineering and Architectural Term Services - County Executive Adam J. Bello

21-0415

Authorize Contracts with The Pike Company, Inc.; LeChase Construction Services, LLC; and DiMarco Constructors LLC for General Construction Management Term Services - County Executive Adam J. Bello

21-0416

Authorize a Contract with Barton & Loguidice, D.P.C. for General Solid Waste Consulting Term Services - County Executive Adam J. Bello

21-0417

Authorize a Contract with SWBR Architecture, Engineering & Landscape Architecture, D.P.C. and T.Y. Lin International Engineering & Architecture, P.C. for Code Enforcement Term Services - County Executive Adam J. Bello

21-0418

Authorize Contracts with Day Engineering P.C.; LiRo Engineers, Inc.; and Ravi Engineering & Land Surveying, P.C. for Environmental Consulting Term Services - County Executive Adam J. Bello

21-0420

Authorize Contracts with Arcadis of New York, Inc.; Day Engineering P.C.; MRB Group, Engineering, Architecture & Surveying, D.P.C.; and Wendel WD Architecture, Engineering, Surveying & Landscape Architecture, P.C. for Wastewater Engineering Term Services - County Executive Adam J. Bello

21-0422

Classification of Action, Designation of Lead Agency, and Determination of Significance Pursuant to the State Environmental Quality Review Act for Gates-Chili-Ogden Sewer District's acquisition of Real Property located at 13 and 15 Carroll Street in the Village of Churchville - County Executive Adam J. Bello

21-0425

Classification of Action and Determination of Significance Pursuant to the State Environmental Quality Review Act for the Sale of County Owned Tax Foreclosure Property Located at 1800 South Winton Road in the Town of Brighton - County Executive Adam J. Bello

21-0427

Classification of Action and Determination of Significance Pursuant to the State Environmental Quality Review Act for the Sale of County Owned Tax Foreclosure Property Located at 2950 Atlantic Avenue in the Town of Penfield - County Executive Adam J. Bello

21-0473

Amend Resolution 136 of 2021 to Increase the Contract with CHA Consulting, Inc. to Add Professional Architectural and Engineering Services for the Frontier Field Major League Baseball Requirements Project - As a Matter of Importance - County Executive Adam J. Bello

21-0474

Amend the 2021-2026 Capital Improvement Program and the 2021 Capital Budget to Add a Project Entitled "Monroe Community College Sports Facility Lighting

Project," Authorize Financing for the Project, Authorizing Contracts with the Dormitory Authority of the State of New York - As a Matter of Importance - County Executive Adam J. Bello

G. OTHER MATTERS

H. ADJOURNMENT

The next meeting of the Environment & Public Works Committee will be announced.



ATTACHMENTS:

Description File Name

- ▣ Presentation 2022_Environment___Pub_Works.pdf

2022 Budget Presentation to the Environment & Public Works Committee

ADAM J. BELLO
MONROE COUNTY EXECUTIVE

ROBERT FRANKLIN
CHIEF FINANCIAL OFFICER

November 22, 2021

Environment & Public Works Appropriations

in millions, net of chargebacks

	<u>2021 Adopted</u>	<u>2021 Amended</u>	<u>2022 Proposed</u>
Aviation	\$ 24.3	\$ 24.3	\$ 24.3
Solid Waste	\$ 11.7	\$ 11.7	\$ 11.6
Engineering / Facilities / Fleet	\$ 5.2	\$ 5.6	\$ 4.0
Pure Waters	<u>\$ 77.5</u>	<u>\$ 77.7</u>	<u>\$ 77.4</u>
	\$ 118.7	\$ 119.3	\$ 117.3

Department of Aviation Appropriations

	2021 <u>Adopted</u>	2021 <u>Amended</u>	2022 <u>Proposed</u>
Airport Administration	\$ 6,937,161	\$ 6,937,161	\$ 6,968,467
Airport Security	\$ 4,283,588	\$ 4,283,588	\$ 4,177,011
Crash / Fire / Rescue	\$ 3,417,148	\$ 3,472,148	\$ 3,502,290
Field Operations	\$ 4,938,055	\$ 4,938,055	\$ 4,938,528
Custodial Operations	\$ 3,357,409	\$ 3,357,409	\$ 3,396,603
Building Operations	<u>\$ 1,328,592</u>	<u>\$ 1,328,592</u>	<u>\$ 1,339,880</u>
 Total Appropriations	 \$ 24,261,953	 \$ 24,316,953	 \$ 24,322,779

November 22, 2021

DES – Solid Waste

	<u>2021 Adopted</u>	<u>2021 Amended</u>	<u>2022 Proposed</u>
Appropriations	\$ 11,721,980	\$ 11,721,980	\$ 11,601,015
Revenues	<u>\$ 9,721,980</u>	<u>\$ 9,721,980</u>	<u>\$ 9,601,015</u>
Net County Support	\$ 2,000,000	\$ 2,000,000	\$ 2,000,000

DES – Engineering / Facilities / Fleet

	<u>2021 Adopted</u>	<u>2021 Amended</u>	<u>2022 Proposed</u>
Gross Appropriations	\$ 34,653,572	\$ 35,106,725	\$ 36,105,784
Chargebacks	<u>\$ (29,463,170)</u>	<u>\$ (29,463,170)</u>	<u>\$ (32,112,308)</u>
Net Appropriations	\$ 5,190,402	\$ 5,643,555	\$ 3,993,476
Revenues	<u>\$ 3,765,054</u>	<u>\$ 4,218,207</u>	<u>\$ 2,596,923</u>
Net County Support	\$ 1,425,348	\$ 1,425,348	\$ 1,396,553

November 22, 2021

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DES – Pure Waters Appropriations

<i>net of chargebacks</i>	2021 <u>Adopted</u>	2021 <u>Amended</u>	2022 <u>Proposed</u>
Admin / Lab / GIS	\$ 1,080,000	\$ 1,219,200	\$ 1,080,000
Northwest Quadrant	\$ 9,205,970	\$ 9,205,970	\$ 9,157,097
Irondequoit Bay / South Central	\$ 14,431,384	\$ 14,431,384	\$ 15,719,365
Rochester	\$ 43,762,723	\$ 43,812,723	\$ 41,930,515
Gates-Chili-Ogden	\$ 9,027,175	\$ 9,027,175	\$ 9,505,033
Total Appropriations	\$ 77,507,252	\$ 77,696,452	\$ 77,392,010



ATTACHMENTS:

Description File Name

- ▣ October 25, 2021 10.25.21_EPW_Draft_Minutes.pdf

Summary of Minutes
ENVIRONMENT & PUBLIC WORKS COMMITTEE
October 25, 2021
5:15 p.m.

Chairwoman Wright called the meeting to order at 5:15 p.m.

MEMBERS PRESENT: Jennifer Wright (Chair), G. Blake Keller (Vice-Chair), Paul Dondorfer, Steve Brew, Joshua Bauroth (RMM), Howard Maffucci

OTHER LEGISLATORS PRESENT: Frank Allkofer, Dr. Joe Carbone, George Hebert, Sean M. Delehanty, Yversha Roman, John Baynes

ADMINISTRATION PRESENT: Jeff McCann (Deputy County Executive), Michael J. Garland, P.E. (DES Director), Clem Chung (Deputy Director), John Bringewatt (County Attorney), Laura Smith (Chief Deputy County Attorney), Don Crumb (County Law), Bill Daly (DES), Richard Tantalo (Public Safety Director), Sean Murphy

PUBLIC FORUM: There were no speakers.

APPROVAL OF MINUTES: The minutes of September 27, 2021 were approved as submitted.

NEW BUSINESS:

21-0366 - Authorize a Contract with LaBella Associates, D.P.C. for Professional Engineering Services fro the Iola Combined Heat & Power Plant Improvements Project – County Executive Adam J. Bello

MOVED by Legislator Keller, SECONDED by Legislator Brew.
ADOPTED: 7-0

21-0378 - Classification of Action and Determination of Significance Pursuant to the State Environmental Quality Review Act for the Acquisition of Interests in Real Property for a Fiber Optic Permanent Easement located at East Rdige Road in the Town of Irondequoit – County Executive Adam J. Bello

MOVED by Legislator Brew, SECONDED by Legislator Dondorfer.
ADOPTED: 7-0

21-0380 - Increase and Improvement of Facilities in the Gates-Chili-Ogden Sewer District - Acquisition of Property at 13 and 15 Carroll Street from the Village of Churchville – County Executive Adam J. Bello

MOVED by Legislator Dondorfer, SECONDED by Legislator Keller.
ADOPTED: 7-0

21-0382 - Amend the 2022-2027 Capital Improvement Program to Increase Funding for the MCRC & RRF Facilities Improvements Project – County Executive Adam J. Bello

MOVED by Legislator Keller, SECONDED by Legislator Brew.
ADOPTED: 7-0

OTHER MATTERS

ADJOURNMENT:

There being no other matters, Chairwoman Wright adjourned the meeting at 5:27 p.m.

The next meeting of the Environment and Public Works Committee is scheduled for **Monday, November 22, 2021 at 5:15 p.m.**

Respectfully Submitted,
Reilly O'Brien
Deputy Clerk of the Legislature



ATTACHMENTS:

Description File Name

▣ Referral R21-0410.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

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No. <u>210410</u>
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Committee Assignment
ENV. & PUB. WORKS
WAYS & MEANS

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Amend the 2021 Capital Budget and Bond Resolution 365 of 2020 to Provide an Increase in Funding and Authorize a Contract with Passero Associates, Engineering, Architecture & Surveying, D.P.C. for Design Services for the Access/Circulation Roadway Improvements Project at the Frederick Douglass – Greater Rochester International Airport

Honorable Legislators:

I recommend that Your Honorable Body amend the 2021 Capital Budget and Bond Resolution 365 of 2020 to provide an increase in funding in the amount of \$200,000 and authorize a contract with Passero Associates, Engineering, Architecture & Surveying, D.P.C. in the amount of \$140,000 for design services for the Access/Circulation Roadway Improvements Project at the Frederick Douglass – Greater Rochester International Airport.

This project will construct a new access/circulation roadway at the intersection of Airport Way and the Loop Road, at the roadway entrance to the Airport terminal facility. The objectives of the project are to provide a route from the Airport Loop Road to the Smart Phone Lot and to improve traffic flow and safety through the intersection of Airport Way and the Loop Road. Initial reviews of the traffic flow have indicated that vehicle speeds coming from the Loop Road “Jug Handle” are difficult to judge from the Airport Way intersection. The traffic circle concept should be easier to transverse for Airport Way traffic without significantly impeding the Jug Handle traffic.

The engineering design will incorporate geometrics in conformance with Federal Highway Administration recommendations, storm water management protocols, standard traffic markings, traffic control signs, wayfinding signs, pavement markings, roadway lighting, new concrete curbing, utility relocations as required, and a decorative center island detail.

The Department of Aviation recommends authorization of a contract with Passero Associates, Engineering, Architecture & Surveying, D.P.C., a designated airport consultant per Resolution 320 of 2020, to provide design services for the Access/Circulation Roadway Improvements Project in the amount of \$140,000.

At the present time, this project will be funded by a Federal Aviation Administration grant of 90%, a New York State Department of Transportation grant of 5%, and a local share of 5%. If the Upstate Airport Economic Development and Revitalization Grant is awarded to Monroe County, then this project will be funded 100% from the grant.

This project is scheduled to be considered by the Monroe County Planning Board on November 18, 2021.

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The specific legislative actions required are:

1. Amend the 2021 Capital Budget to increase funding for the Access/Circulation Roadway Improvements Project at the Frederick Douglass – Greater Rochester International Airport, in the amount of \$200,000 from \$500,000 to \$700,000 for a total project authorization of \$700,000.
2. Amend Bond Resolution 365 of 2020 to increase financing for the Access/Circulation Roadway Improvements Project at the Frederick Douglass – Greater Rochester International Airport, capital fund 1987, in the amount of \$200,000 from \$500,000 to \$700,000 for a total project authorization of \$700,000.
3. Authorize the County Executive, or his designee, to execute a contract with Passero Associates, Engineering, Architecture & Surveying, D.P.C., 242 West Main Street, Suite 100, Rochester, New York 14614, for design services for the Access/Circulation Roadway Improvements Project at the Frederick Douglass – Greater Rochester International Airport in the amount of \$140,000 along with any amendments necessary to complete the project within the total capital fund(s) appropriation.

This action is a Type II action pursuant to 6 NYCRR § 617.5(c)(22) (“installation of traffic control devices on existing streets, roads, and highways”) and is not subject to further review under the State Environmental Quality Review Act.

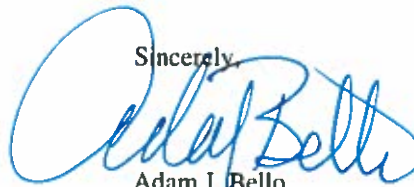
Funding for this project and contract, consistent with authorized uses, will be available in capital fund 1987 once the additional financing authorization herein is approved and any other capital fund(s) created for the same intended purpose. The local funding for this project will ultimately be provided by the Monroe County Airport Authority from Airport generated revenues. No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither Passero Associates, Engineering, Architecture & Surveying, D.P.C., nor any of its principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firm are:

Gary W. Passero, Founding Partner
Jess D. Sudol, President, Civil Engineering Department Manager
Andrew M. Holesko, Chief Executive Officer, National Director of Aviation Services
David Passero, Chief Financial Officer
Daniel J. Savage, Vice President and Director of Engineering

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0411.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

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ENV. & PUB. WORKS-L
WAYS & MEANS

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize a Contract with M/E Engineering, P.C. for Professional Engineering Services for the Civic Center Complex Reconstruction Project

Honorable Legislators:

I recommend that Your Honorable Body authorize a contract with M/E Engineering, P.C. in the amount of \$53,718 for professional engineering services for the Civic Center Complex Reconstruction Project.

Monroe County owns, operates, and maintains the Civic Center Complex located in the City of Rochester. The complex was constructed in the late 1950's and 1960's and includes the Hall of Justice, Watts Building, Public Safety Building, Jail and the Civic Center Garage and Plaza. The County has completed several upgrades throughout the complex. This project includes additional phased building infrastructure improvements to mechanical, electrical, and plumbing (MEP); heating, ventilation, and air conditioning (HVAC); masonry and structural; utilities; and life safety and security systems that support the Civic Center Complex.

Two consultants were considered, with M/E Engineering, P.C. rated the most qualified to provide professional engineering services for the project.

The specific legislative action required is to authorize the County Executive, or his designee, to execute a contract with M/E Engineering, P.C., 300 Trolley Boulevard, Rochester, New York 14606 in the amount of \$53,718 for professional engineering services for the Civic Center Complex Reconstruction Project, and any amendments necessary to complete the project within the total capital fund(s) appropriation.

This action is considered a Type II action pursuant to 6 NYCRR § 617.5(c)(2) ("replacement, rehabilitation or reconstruction of a structure or facility, in kind, on the same site, including upgrading buildings to meet building or fire codes, unless such action meets or exceeds any of the thresholds in section 617.4 of this Part") and is not subject to further review under the State Environmental Quality Review Act.

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Funding for this contract, consistent with authorized uses, is included in capital fund 1997 and any capital fund(s) created for the same intended purpose. No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither M/E Engineering, P.C., nor any of its principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firm are:

John A. Dredger, President
Ronald C. Mead, Chief Financial Officer

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



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Description File Name

▣ Referral R21-0412.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

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WAYS & MEANS

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize Contracts with Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; Erdman, Anthony and Associates, Inc.; LaBella Associates, D.P.C.; Popli Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. for Monroe Community College Engineering and Architectural Term Services

Honorable Legislators:

I recommend that Your Honorable Body authorize contracts with Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; Erdman, Anthony and Associates, Inc.; LaBella Associates, D.P.C.; Popli, Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. for Monroe Community College Engineering and Architectural Term Services in a total annual aggregate amount not to exceed \$200,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions to be limited to the amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

These contracts will provide architectural and engineering term services for small-scale projects at any of Monroe Community College's campuses that may require prompt turn-around. Specific services may include space utilization, programming, and planning; general interior and exterior architectural design and layout; compliance with New York State Building Code and Americans with Disabilities Act requirements; civil/site, mechanical, electrical, plumbing, life safety, and structural systems evaluation and design; preparation of contract drawings and specifications; assistance during bidding; cost estimating; and construction phase services including inspection.

Several consultants were considered for Monroe Community College Engineering and Architectural Term Services with Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; Erdman, Anthony and Associates, Inc.; LaBella Associates, D.P.C.; Popli, Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. rated the most qualified to provide these services.

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The specific legislative action required is to authorize the County Executive, or his designee, to execute contracts, and any amendments thereto, with Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., 280 East Broad Street, Suite 200, Rochester, New York 14604; Erdman, Anthony and Associates, Inc., 145 Culver Road, Suite 200, Rochester, New York 14620; LaBella Associates, D.P.C., 300 State Street, Suite 201, Rochester, New York 14614; Popli Architecture + Engineering & L.S., D.P.C., 555 Penbrooke Drive, Penfield, New York 14526; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C., 387 East Main Street, Rochester, New York 14604 for Monroe Community College Engineering and Architectural Term Services in a total annual aggregate amount not to exceed \$200,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions to be limited to the amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(24) ("information collection including basic data collection and research, water quality and pollution studies, traffic counts, engineering studies, surveys, subsurface investigations and soils studies that do not commit the agency to undertake, fund or approve any Type I or Unlisted action"); (26) ("routine or continuing agency administration and management, not including new programs or major reordering of priorities that may affect the environment"); and (27) ("conducting concurrent environmental, engineering, economic, feasibility and other studies and preliminary planning and budgetary processes necessary to the formulation of a proposal for action, provided those activities do not commit the agency to commence, engage in or approve such action") and is not subject to further review under the State Environmental Quality Review Act.

Funding for these services, consistent with authorized uses, is included in various capital fund(s). No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; Erdman, Anthony and Associates, Inc.; LaBella Associates, D.P.C.; Popli, Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C., nor any of their principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firms are:

Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.

Pietro V. Giovenco, CEO
Scott W. Lockwood, CFO/Treasurer
Andrew J. Raus, Senior Vice President

Erdman, Anthony and Associates, Inc.

Curtis W. Helman, President/CEO
Bruce R. Wallmann, Principal Associate

LaBella Associates, D.P.C.

Steven Metzger, CEO
Jeffery Roloson, President
Mark Kukuvka, Vice President

Popli, Architecture + Engineering & L.S., D.P.C.

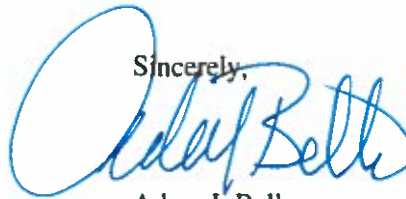
Om P. Popli, President
S. Jay Popli, Executive Vice President
Greg Hutter, Partner

SWBR Architecture, Engineering & Landscape Architecture, D.P.C.

Thomas R. Gears, Company Partner
David Beinetti, Company Partner
Steven V. Rebholz, Company Partner

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0413.pdf



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Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

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WAYS & MEANS

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize Contracts with C&S Architects, Engineers & Landscape Architect, PLLC and CPL Architects, Engineers, Landscape Architect and Surveyor, D.P.C. for Monroe Community Hospital Architectural and Engineering Term Services

Honorable Legislators:

I recommend that Your Honorable Body authorize contracts with C&S Architects, Engineers & Landscape Architect, PLLC and CPL Architects, Engineers, Landscape Architect and Surveyor, D.P.C. for Monroe Community Hospital Architectural and Engineering Term Services in a total annual aggregate amount not to exceed \$150,000 for the period of January 1, 2022 through December 31, 2022, with two (2) additional one-year extensions, with escalations for the extensions to be limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

These contracts will provide architectural and engineering term services for small-scale projects as well as those projects at Monroe Community Hospital requiring prompt turn-around. Specific services may include space utilization, programming, and planning; general interior and exterior architectural design and layout; compliance with New York State Building Code and Americans with Disabilities Act requirements; civil/site, mechanical, electrical, plumbing, and structural system evaluation and improvement; preparation of contract drawings and specifications; and cost estimating and construction phase services, including inspection.

Several consultants were considered, with C&S Architects, Engineers & Landscape Architect, PLLC and CPL Architects, Engineers, Landscape Architect and Surveyor, D.P.C. rated the most qualified to provide these services.

The specific legislative action required is to authorize the County Executive, or his designee, to execute contracts, and any amendments thereto, with C&S Architects, Engineers & Landscape Architect, PLLC, 150 State Street, Suite 120, Rochester, New York 14614; CPL Architects, Engineers, Landscape Architect and Surveyor, D.P.C., 205 St. Paul Street, Suite 500, Rochester, New York 14604 for general architectural and engineering term services in a total annual aggregate amount not to exceed \$150,000 for the period of January 1, 2022 through December 31, 2022, with two (2) additional one-year extensions, with escalations for the extensions to be limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

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This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(24) (“information collection including basic data collection and research, water quality and pollution studies, traffic counts, engineering studies, surveys, subsurface investigations and soils studies that do not commit the agency to undertake, fund or approve any Type I or Unlisted action”); (26) (“routine or continuing agency administration and management, not including new programs or major reordering of priorities that may affect the environment”); and (27) (“conducting concurrent environmental, engineering, economic, feasibility and other studies and preliminary planning and budgetary processes necessary to the formulation of a proposal for action, provided those activities do not commit the agency to commence, engage in or approve such action”) and is not subject to further review under the State Environmental Quality Review Act.

Funding for these services, consistent with authorized uses, is included in various capital fund(s). No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither C&S Architects, Engineers & Landscape Architect, PLLC nor CPL Architects, Engineers, Landscape Architect and Surveyor, D.P.C., nor any of their principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firms are:

C&S Architects, Engineers & Landscape Architect, PLLC

John D. Trimble, President and CEO
John F. Spina, Senior Vice President
Michael D. Hotaling, Senior Vice President

CPL Architects, Engineers, Landscape Architect and Surveyor, D.P.C.

Todd M. Liebert, Chief Executive Officer
Richard B. Henry, III, President

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0414.pdf

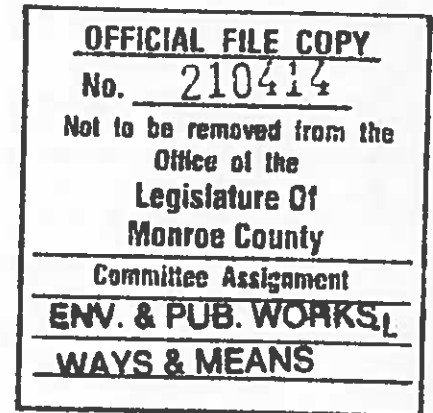


Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021



To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize Contracts with Barton & Loguidice, D.P.C.; Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; LaBella Associates, D.P.C.; Popli Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. for General Engineering and Architectural Term Services

Honorable Legislators:

I recommend that Your Honorable Body authorize contracts with Barton & Loguidice, D.P.C.; Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; LaBella Associates, D.P.C.; Popli, Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. for General Engineering and Architectural Term Services in a total annual aggregate amount not to exceed \$500,000 for general engineering and architectural term services for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions to be limited to the amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

These contracts will provide architectural and engineering term services for small-scale projects as well as those projects for Monroe County requiring prompt turn-around. Specific services may include space utilization, programming, and planning; general interior and exterior architectural design and layout; compliance with New York State Building Code and Americans with Disabilities Act requirements; civic/site, mechanical, electrical, plumbing, and structural system evaluation and improvement; preparation of contract drawings and specifications; and cost estimating and construction phase services including inspection.

Several consultants were considered, with Barton & Loguidice, D.P.C.; Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; LaBella Associates, D.P.C.; Popli, Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. rated the most qualified to provide these services.

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The specific legislative action required is to authorize the County Executive, or his designee, to execute contracts, and any amendments thereto, with Barton & Loguidice, D.P.C., 443 Electronics Pkwy, Liverpool, New York 13088; Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., 280 East Broad Street, Suite 200, Rochester, New York 14604; LaBella Associates, D.P.C., 300 State Street, Suite 201, Rochester, New York 14614; Popli, Architecture + Engineering & L.S., D.P.C., 555 Penbrooke Drive, Penfield, New York 14526; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C., 387 East Main Street, Rochester, New York 14604 for general engineering and architectural term services in a total annual aggregate amount not to exceed \$500,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions to be limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(24) ("information collection including basic data collection and research, water quality and pollution studies, traffic counts, engineering studies, surveys, subsurface investigations and soils studies that do not commit the agency to undertake, fund or approve any Type I or Unlisted action"), (26) ("routine or continuing agency administration and management, not including new programs or major reordering of priorities that may affect the environment"), and (27) ("conducting concurrent environmental, engineering, economic, feasibility and other studies and preliminary planning and budgetary processes necessary to the formulation of a proposal for action, provided those activities do not commit the agency to commence, engage in or approve such action") and is not subject to further review under the State Environmental Quality Review Act.

Funding for these services, consistent with authorized uses, is included in various capital fund(s). No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither Barton & Loguidice, D.P.C.; Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.; LaBella Associates, D.P.C.; Popli, Architecture + Engineering & L.S., D.P.C.; and SWBR Architecture, Engineering & Landscape Architecture, D.P.C. nor any of their principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firms are:

Barton & Loguidice, D.P.C.

John F. Brusa, CEO/President

Richard A. Straut, Principal

Matthew J. Schooley, Principal

Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.

Pietro V. Giovenco, CEO

Scott W. Lockwood, CFO/Treasurer

Andrew J. Raus, Sr. Vice President

LaBella Associates, D.P.C.

Steven Metzger, CEO

Jeffery Roloson, President

Mark Kukuvka, Vice President

Popli, Architecture + Engineering & L.S., D.P.C.

Om P. Popli, President
S. Jay Popli, Executive Vice President
Greg Hutter, Partner

SWBR Architecture, Engineering & Landscape Architecture, D.P.C.

Thomas R. Gears, Company Partner
David Beinetti, Company Partner
Steven V. Rebholz, Company Partner

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0415.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

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Committee Assignment ENV. & PUB. WORKS -L
<u>WAYS & MEANS</u>

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize Contracts with The Pike Company, Inc.; LeChase Construction Services, LLC; and DiMarco Constructors LLC for General Construction Management Term Services

Honorable Legislators:

I recommend that Your Honorable Body authorize contracts with The Pike Company, Inc.; LeChase Construction Services, LLC; and DiMarco Constructors LLC for General Construction Management Term Services in a total annual aggregate amount not to exceed \$300,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions to be limited to the amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

These contracts will provide general construction management term services for a variety of projects for Monroe County requiring prompt turn-around. Specific services may include cost estimating; value engineering; construction scheduling and identification of project milestones; contract document and constructability reviews; inspection; maintaining record information; coordinating and monitoring the activities of prime contractors, subcontractors and outside testing agencies; reviewing safety programs; and other construction management services as identified by the County.

Several consultants were considered, with The Pike Company, Inc.; LeChase Construction Services, LLC; and DiMarco Constructors LLC rated the most qualified to provide these services.

The specific legislative action required is to authorize the County Executive, or his designee, to execute contracts, and any amendments thereto, with The Pike Company, Inc., One Circle Street, Rochester, New York 14607; LeChase Construction Services, LLC, 205 Indigo Creek Drive, Rochester, New York 14626; DiMarco Constructors LLC, 1950 Brighton-Henrietta Town Line Road, Rochester, New York 14623 for general construction management term services in a total annual aggregate amount not to exceed \$300,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions to be limited to the amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(24) ("information collection including basic data collection and research, water quality and pollution studies, traffic counts, engineering studies, surveys, subsurface investigations and soils studies that do not commit the agency to undertake, fund or approve any Type I or Unlisted action"); (26) ("routine or continuing agency administration and management, not including new programs or major reordering of priorities that may affect the environment"); and (27) ("conducting concurrent environmental, engineering, economic, feasibility and other studies and preliminary planning and budgetary processes necessary to the formulation of a proposal for action, provided those activities do not commit the agency to commence, engage in or approve such action") and is not subject to further review under the State Environmental Quality Review Act.

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Funding for these services, consistent with authorized uses, is included in various capital fund(s). No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither The Pike Company, Inc.; LeChase Construction Services, LLC; nor DiMarco Constructors, nor any of their principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firms are:

The Pike Company, Inc.

Thomas F. Judson, Jr., Chairman
Rufus M. Judson, CEO
William Tehan, President

LeChase Construction Services, LLC


R. Wayne LeChase, Chairman
William H. Goodrich, CEO & Managing Partner
William L. Mack – President
Kyle L. Syers – Executive Vice President & COO

DiMarco Constructors LLC

John L. DiMarco, II, President/Treasurer
Joel DiMarco, Vice President/Secretary
Paul M. Colucci, Vice President
Anthony Soprano, Vice President
Kenneth Buck, Vice President

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0416.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

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To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize a Contract with Barton & Loguidice, D.P.C. for General Solid Waste Consulting Term Services

Honorable Legislators:

I recommend that Your Honorable Body authorize a contract with Barton & Loguidice, D.P.C. in a total annual amount not to exceed \$100,000 for General Solid Waste Consulting Term Services for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

Monroe County is responsible for addressing industry, regulatory, and technological changes that routinely impact the County's solid waste program and permitted facilities and operations. These issues often require further investigations, planning, and recommendations to meet changing requirements. This contract will allow the County to supplement its staff with a consultant, on an as-needed basis, to assist with such issues. Monroe County will utilize Barton & Loguidice, D.P.C. to provide a variety of professional engineering services in connection with the contract such as investigations, evaluations, analysis, and recommendations to enhance, evaluate, and maintain long-term solid waste management goals of waste reductions, recycling, and disposal.

Several consultants were considered, with Barton & Loguidice, D.P.C. rated the most qualified to provide these services.

The specific legislative action required is to authorize the County Executive, or his designee, to execute a contract, and any amendments thereto, with Barton & Loguidice D.P.C., 443 Electronics Parkway, Liverpool, New York 13088, for General Solid Waste Consulting Term Services in an amount not to exceed \$100,000 annually for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions with escalations for the extensions limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

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This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(24) ("information collection including basic data collection and research, water quality and pollution studies, traffic counts, engineering studies, surveys, subsurface investigations and soils studies that do not commit the agency to undertake, fund or approve any Type I or Unlisted action") and (26) ("routine or continuing agency administration and management, not including new programs or major reordering of priorities that may affect the environment") and is not subject to further review under the State Environmental Quality Review Act.

Funding for these services, consistent with authorized uses, is included in various capital fund(s) and in the proposed 2022 operating budget of the Department of Environmental Services: solid waste fund 9009, funds center 8201010000, Solid Waste Administration. No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury has indicated that neither Barton & Loguidice, D.P.C., nor any of its principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firm are:

John F. Brusa, CEO / President
Richard A. Straut, Executive Vice President
Matthew J. Schooley, Vice President / Secretary

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0417.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

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To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize a Contract with SWBR Architecture, Engineering & Landscape Architecture, D.P.C. and T.Y. Lin International Engineering & Architecture, P.C. for Code Enforcement Term Services

Honorable Legislators:

I recommend that Your Honorable Body authorize a contract with SWBR Architecture, Engineering & Landscape Architecture, D.P.C. and T.Y. Lin International Engineering & Architecture, P.C. for code enforcement term services in a total annual amount not to exceed \$300,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions to be limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

Monroe County is responsible for building code enforcement for all County owned facilities in accordance with the New York State Uniform Fire Prevention and Building Code ("NYS Building Code"). These responsibilities include conducting building inspections, issuing building permits and certificates of occupancy, and reviewing building plans. The NYS Building Code also requires a number of specialized inspections by certified personnel, for which County staff are not currently certified. This contract will allow the County to supplement its staff with a consultant, on an as-needed basis, to assist with code enforcement. Consultant services may include fire-life-safety and property maintenance inspection services, plan review, specialized construction inspection, code compliance training, and general code related consultation services at the direction of the County.

Several consultants were considered, with SWBR Architecture, Engineering & Landscape Architecture, D.P.C. and T.Y. Lin International Engineering & Architecture, P.C. rated the most qualified to provide these services.

The specific legislative action required is to authorize the County Executive, or his designee, to execute a contract, and any amendments thereto, with SWBR Architecture, Engineering & Landscape Architecture, D.P.C., 387 East Main Street, Rochester, New York 14604 and T.Y. Lin International Engineering & Architecture, P.C., 255 East Avenue, Suite 2B, Rochester, New York 14604 for code enforcement term services in a total annual amount not to exceed \$300,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions to be limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

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This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(25) (“official acts of a ministerial nature involving no exercise of discretion, including building permits and historic preservation permits where issuance is predicated solely on the applicant’s compliance or noncompliance with the relevant local building or preservation code(s)”); (26) (“routine or continuing agency administration and management, not including new programs or major reordering of priorities that may affect the environment”); and (34) (“engaging in review of any part of an application to determine compliance with technical requirements, provided that no such determination entitles or permits the project sponsor to commence the action unless and until all requirements of this Part have been fulfilled”) and is not subject to further review under the State Environmental Quality Review Act.

Funding for this contract is included in the proposed 2022 operating budget of the Department of Environmental Services, general fund 9001, funds center 8301010000, Engineering Administration. No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither SWBR Architecture, Engineering & Landscape Architecture, D.P.C. nor T.Y. Lin International Engineering & Architecture, P.C., nor any of their principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firms are:

SWBR Architecture, Engineering & Landscape Architecture, D.P.C.

Thomas R. Gears, Company Partner
David Beinetti, Company Partner
Steven V. Rebholz, Company Partner

T.Y. Lin International Engineering & Architecture, P.C.

Robert Radley, PE, Firm Owner
Dennis Kennelly, PE, Vice President/Firm Officer

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0418.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize Contracts with Day Engineering P.C.; LiRo Engineers, Inc.; and Ravi Engineering & Land Surveying, P.C. for Environmental Consulting Term Services

Honorable Legislators:

I recommend that Your Honorable Body authorize contracts with Day Engineering P.C.; LiRo Engineers, Inc.; and Ravi Engineering & Land Surveying, P.C. for environmental consulting term services in a total annual aggregate amount not to exceed \$300,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

Environmental issues may arise as part of maintenance, construction, operation, and renovation activities of County and Pure Waters District assets including buildings, utilities, and general infrastructure. These issues often require further environmental investigation and remediation. This contract will allow the County to supplement its staff with a consultant on an as-needed basis to assist with environmental issues. Monroe County will utilize Day Engineering P.C.; LiRo Engineers, Inc.; and Ravi Engineering & Land Surveying, P.C., to provide a variety of professional engineering services in connection with the contract such as investigations, evaluations, site assessments, analysis recommendation, and oversight of remedial activities, as well as developing grant applications to obtain state and federal funding, as appropriate.

Several consultants were considered, with Day Engineering P.C.; LiRo Engineers, Inc.; and Ravi Engineering & Land Surveying, P.C. rated the most qualified to provide these services.

The specific legislative action required is to authorize the County Executive, or his designee, to execute contracts, and any amendments thereto, with Day Engineering P.C., 1563 Lyell Avenue, Rochester, New York 14606; LiRo Engineers, Inc., 85 Allen Street, Suite 300, Rochester, New York 14608; and Ravi Engineering & Land Surveying, P.C., 2110 S. Clinton Avenue, Rochester, New York 14618, for environmental consulting term services in a total annual aggregate amount not to exceed \$300,000 for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(24) ("information collection including basic data collection and research, water quality and pollution studies, traffic counts, engineering studies, surveys, subsurface investigations and soils studies that do not commit the agency to undertake, fund or approve any Type I or Unlisted action"); (26) ("routine or continuing agency administration and management, not including new programs or major reordering of priorities that may affect the environment"); and (27) ("conducting concurrent environmental, engineering, economic, feasibility and other studies and preliminary planning and budgetary processes necessary to the formulation of a proposal for action, provided those activities do not commit the agency to commence, engage in or approve such action") and is not subject to further review under the State Quality Review Act.

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Monroe County Legislature - November 22, 2021

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Monroe County

Committee Assignment

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Funding for these contracts, consistent with authorized uses, is included in various capital funds and in the proposed 2022 operating budget of the Department of Environmental Services, Business Area 8500, Pure Waters and 8200 Solid Waste. No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither Day Engineering P.C.; LiRo Engineers, Inc.; nor Ravi Engineering & Land Surveying, P.C., nor any of their principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firms are:

Day Engineering P.C.

David D. Day, President / Treasurer
Timothy K. Hampton, Vice President / Secretary

LiRo Engineers, Inc.

Rocco Trotta, Chairman
Richard Cavallaro, Chief Executive Officer
Michael Burton, Executive Vice President / National Operations Manger
Robert Kreuzer, Senior Vice President

Ravi Engineering & Land Surveying, P.C.

Nagappa Ravindra, President
Michael Bogardus, Senior Vice President

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0420.pdf

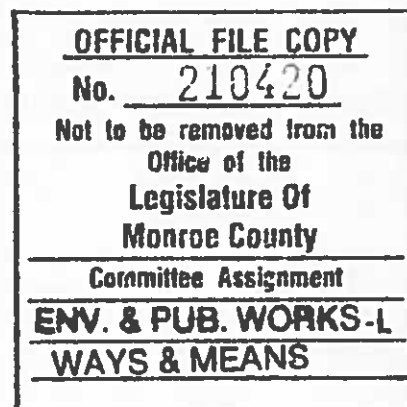


Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021



To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Authorize Contracts with Arcadis of New York, Inc.; Day Engineering P.C.; MRB Group, Engineering, Architecture & Surveying, D.P.C.; and Wendel WD Architecture, Engineering, Surveying & Landscape Architecture, P.C. for Wastewater Engineering Term Services

Honorable Legislators:

I recommend that Your Honorable Body authorize contracts with Arcadis of New York, Inc.; Day Engineering P.C.; MRB Group, Engineering, Architecture & Surveying, D.P.C.; and Wendel WD Architecture, Engineering, Surveying & Landscape Architecture, P.C. in a total annual aggregate amount not to exceed \$600,000 for wastewater engineering term services for the Gates-Chili-Ogden Sewer District, Northwest Quadrant Pure Waters District, Irondequoit Bay South Central Pure Waters District, and the Rochester Pure Waters District (the "Districts") for the period of January 1, 2022 through December 31, 2022, with the option to renew for two (2) additional one-year extensions, with escalations for the extensions limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

The Districts are responsible for managing wastewater collection and treatment facilities in accordance with applicable municipal law, regulatory requirements, and industry standards. These facilities include more than one thousand (1,000) miles of collector sewers, one hundred miles (100) miles of interceptor sewers, thirty (30) miles of Combined Sewer Overflow Abatement Program ("CSOAP") tunnels and six (6) major CSOAP control structures, sixty (62) pump stations, and two (2) water resource recovery facilities; and the Frank E. Van Lare and Northwest Quadrant plants that treat an average of forty-five (45) billion gallons of wastewater annually. The Districts are also responsible for reviewing, inspecting, and approving privately constructed sewers and appurtenances to be dedicated to the Districts for compliance with administrative and special requirements, as well as material standards set by the Districts.

These contracts will provide wastewater engineering term services, including planning, design, and construction phase services related to connections, repairs, replacements, extensions, and improvements to the wastewater collection and treatment facilities serving the Districts. Services may also include review, maintenance, and modifications to Pure Waters' standards as published in the "Requirements for Privately Constructed Sewers" and term sewer construction contracts and the review and modification of other planning studies, engineering reports, and regional sewerage initiatives.

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Several consultants were considered, with Arcadis of New York, Inc.; Day Engineering P.C.; MRB Group, Engineering, Architecture & Surveying, D.P.C.; and Wendel WD Architecture, Engineering, Surveying & Landscape Architecture, P.C. rated the most qualified to provide these services.

The specific legislative action required is to authorize the County Executive, or his designee, to execute contracts, and any amendments thereto, with Arcadis of New York, Inc., 100 Chestnut Drive, Suite 1020, Rochester, New York 14604; Day Engineering P.C., 1563 Lyell Avenue, Rochester, New York 14606; MRB Group, Engineering, Architecture & Surveying, D.P.C., 145 Culver Road, Suite 160, Rochester, New York 14620; and Wendel WD Architecture, Engineering, Surveying & Landscape Architecture, P.C., Centerpointe Corporate Park, 375 Essjay Road, Suite 200, Williamsville, New York 14221, for wastewater engineering term services in a total annual aggregate amount not to exceed \$600,000 for the period of January 1, 2022 through December 31, 2022, with two (2) additional one-year extensions, with escalations for the extensions to be limited to an amount equal to the increase in the previous year's Consumer Price Index (U.S. City Average CPI-U from the Bureau of Labor Statistics).

This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(24) ("information collection including basic data collection and research, water quality and pollution studies, traffic counts, engineering studies, surveys, subsurface investigations and soils studies that do not commit the agency to undertake, fund or approve any Type I or Unlisted action"); (26) ("routine or continuing agency administration and management, not including new programs or major reordering of priorities that may affect the environment"); and (27) ("conducting concurrent environmental, engineering, economic, feasibility and other studies and preliminary planning and budgetary processes necessary to the formulation of a proposal for action, provided those activities do not commit the agency to commence, engage in or approve such action") and is not subject to further review under the State Quality Review Act.

Funding for these contracts, consistent with authorized uses, is included in various capital funds and in the proposed 2022 operating budget of the Department of Environmental Services, Business Area 8500, Pure Waters. No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither Arcadis of New York, Inc.; Day Engineering P.C.; MRB Group, Engineering, Architecture & Surveying, D.P.C.; nor Wendel WD Architecture, Engineering, Surveying & Landscape Architecture, P.C., nor any of their principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firms are:

Arcadis of New York, Inc.
John M. McCarthy, Chief Executive Officer
Alexander Rothchild, President
John Perriello, Vice President

Day Engineering P.C.
David D. Day, President / Treasurer
Timothy K. Hampton, Vice President / Secretary

MRB Group, Engineering, Architecture & Surveying, D.P.C.

Ryan T. Colvin, President

James J. Oberst, Executive Vice President / Chief Operating Officer

David M. Doyle, Vice President

Wendel WD Architecture, Engineering, Surveying & Landscape Architecture, P.C.

Stewart C. Haney, Chief Executive Officer / President

David C. Duchsherer, Board Chairman

Joseph A. DeFazio, Vice Chairman

John Havrilla, Secretary

Alan J. Giantomaso, Board Treasurer

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello

Monroe County Executive

AJB:db



ATTACHMENTS:

Description File Name

▣ Referral R21-0422.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

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Committee Assignment
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November 5, 2021

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Classification of Action, Designation of Lead Agency, and Determination of Significance Pursuant to the State Environmental Quality Review Act for Gates-Chili-Ogden Sewer District's acquisition of Real Property located at 13 and 15 Carroll Street in the Village of Churchville

Honorable Legislators:

I recommend that Your Honorable Body designate Monroe County as Lead Agency for the acquisition of interests in real property at 13 and 15 Carroll Street and determine whether the action may have a significant adverse impact on the environment pursuant to the State Environmental Quality Review Act ("SEQRA").

The proposed acquisition of interests are as follows:

Table with 3 columns: Parcels, Owner, Amount. Row 1: 13 Carroll Street, Village of Churchville, \$1.00. Row 2: 15 Carroll Street, Village of Churchville.

The acquisition of interests in real property located at 13 Carroll Street and 15 Carroll Street in the Village of Churchville has been preliminarily classified as an Unlisted action. The SEQRA regulations found at 6 NYCRR Part 617 require that no agency shall carry out or approve an Action until it has complied with the requirements of SEQRA.

The specific legislative actions required are:

1. Determine that the acquisition of interests of this real property located at 13 and 15 Carroll Street in the Village of Churchville is an Unlisted action.
2. Designate Monroe County as Lead Agency for a coordinated review of the acquisition of interests in real property at 13 and 15 Carroll Street.
3. Make a determination of significance regarding the acquisition of interests located at 13 and 15 Carroll Street in the Village of Churchville pursuant to 6 NYCRR § 617.7.
4. Authorize the County Executive, or his designee, to take such actions to comply with the requirements of the State Environmental Quality Review Act, including without limitation, the execution of documents and the filing, distribution and publication of the documents required under the State Environmental Quality Review Act, and any other actions to implement the intent of this resolution.

This designation will have no impact on the revenues or expenditures of the current Monroe County budget.

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db

11/5/21
11/5/21

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Gates-Chili-Ogden Sewer District			
Name of Action or Project:			
Transfer title of properties located at 13 & 15 Carroll Street from the Village of Churchville to the Gates-Chili-Ogden Sewer District			
Project Location (describe, and attach a location map):			
13 Carroll Street (TAX 143.13-3-26) & 15 Carroll Street (TAX 143.13-3-27)			
Brief Description of Proposed Action:			
The Gates-Chili-Ogden Sewer District ("GCOSD"), a duly constituted sewer district of the County of Monroe, will acquire properties at 13 and 15 Carroll Street (tax account number 143.13-3-26 and 143.13-3-27) from the Village of Churchville. GCOSD currently owns and operates a one-story building and subsurface equipment on these parcels. This action only includes transferring fee ownership of the approximately .4 acre parcels; no additional construction is anticipated at this time.			
Name of Applicant or Sponsor:		Telephone: 585-753-7511	
Monroe County		E-Mail: MCDES@monroecounty.gov	
Address:			
7100 City Place, 50 West Main Street			
City/PO:		State:	Zip Code:
Rochester		New York	14814
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Churchville - transfer ownership of two parcels to the Gates-Chili-Ogden Sewer District			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.34 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.34 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Municipal - Sewer Pumping Station			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ The action is only to transfer title of properties. There is no need for new connections to public/private water supply	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ The action is only to transfer title of properties. There is no need for new connection to existing wastewater utilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
The site is near, but not substantially contiguous to, a building determined to be eligible for listing on the State Register	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

SI :6 NY 8- NOV 12021

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
An ERIS report identified inactive NYSDEC Spill #0470104 at the 15 Camp St. parcel which reportedly occurred on 8/9/2004 and is a closed incident.		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>MICHAEL J GARLAND</u> Date: <u>7 OCT 21</u>		
Signature: <u>[Signature]</u> Title: <u>DES DIRECTOR</u>		

PRINT FORM

EAF Mapper Summary Report

Thursday, October 7, 2021 1:03 AM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Agency Use Only (If applicable)

Project:

Date:

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

PRINT FORM

Agency Use Only (If applicable)

Project: _____
Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

After review that utilized the environmental assessment forms, County Environmental Records, the NYS Cultural Resources Information Survey, the NYS Spill Incidents Database Search, it has been determined that no significant adverse environmental impacts will occur because of this action.

The EAF Mapper indicated that a historical building was on or substantially contiguous to the property, however the closest eligible property is removed from the parcel by two properties. Additionally, no changes to the existing structure or property are anticipated and therefore will not impact the historical aspects of surrounding buildings or properties.

The EAF Mapper also indicated that a spill incident took place in 2004. This incident was documented and closed in 2006 which indicates that the necessary cleanup and removal actions have been completed and no further remedial activities are necessary at this time.

The action is for the transfer of a parcel of property that has existing facilities on site and no physical alteration nor disturbance of the property is planned as the facility is in use and will remain a part of the appurtenant facilities of the Gates-Chitt-Ogden Sewer District ("GCOSD").

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Monroe County	
_____	_____
Name of Lead Agency	Date
Adam J. Bello	County Executive
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT FORM



ATTACHMENTS:

Description File Name

▣ Referral R21-0425.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 5, 2021

OFFICIAL FILE COPY
No. <u>210425</u>
Not to be removed from the Office of the Legislature Of Monroe County
Committee Assignment
ENV. & PUB. WORKS -L

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Classification of Action and Determination of Significance Pursuant to the State Environmental Quality Review Act for the Sale of County Owned Tax Foreclosure Property Located at 1800 South Winton Road in the Town of Brighton

Honorable Legislators:

I recommend that Your Honorable Body determine whether the sale of County owned tax foreclosure property located at 1800 South Winton Road in the Town of Brighton may have a significant adverse impact on the environment pursuant to the State Environmental Quality Review Act ("SEQRA").

The proposed sale is as follows:

<u>Parcel</u>	<u>Offeror</u>	<u>Offered Amount</u>
1800 S. Winton Rd. TA # 150.05-1-42 Town of Brighton	Regency Legacy II LLC 2604 Elmwood Avenue, Suite 159 Rochester, New York 14618	\$10,000

This vacant land was acquired January 30, 2019 through tax foreclosure, is surplus property, and is not needed by Monroe County. The price indicated above was negotiated by Monroe County Real Estate.

The sale of County owned tax foreclosure property located at 1800 South Winton Road in the Town of Brighton has been preliminarily classified as an Unlisted action. The SEQRA regulations found at 6 NYCRR Part 617 requires that no agency shall carry out or approve an Action until it has complied with the requirements of SEQRA.

110 County Office Building • 39 West Main Street • Rochester, New York 14614

(585) 753-1000 • fax: (585) 753-1014 • www.monroecounty.gov • e-mail: countyexecutive@monroecounty.gov

The specific legislative actions required are:

1. Determine that the sale of County owned tax foreclosure property located at 1800 South Winton Road in the Town of Brighton is an Unlisted action.
2. Make a determination of significance regarding the sale of County owned tax foreclosure property located at 1800 South Winton Road in the Town of Brighton pursuant to 6 NYCRR § 617.7.
3. Authorize the County Executive, or his designee, to take such actions to comply with the requirements of the State Environmental Quality Review Act, including without limitation, the execution of documents and the filing, distribution and publication of the documents required under the State Environmental Quality Review Act, and any other actions to implement the intent of this resolution.

This designation will have no impact on the revenues or expenditures of the current Monroe County budget.

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Proposed Sale of County owned property located in the Town of Brighton			
Project Location (describe, and attach a location map): 1800 S Winton Road, Brighton, NY			
Brief Description of Proposed Action: 1800 South Winton Road is approximately 3.10 Acres of Land. This is a portion of the County owned property consisting of Tax Account number 150.05-1-42			
Name of Applicant or Sponsor: Monroe County		Telephone: 585-753-1233	
Address: 39 West Main Street		E-Mail:	
City/PO: Rochester		State NY	Zip Code: 14614
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? (If Yes, list agency(s) name and permit or approval:		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.10 acres	
b. Total acreage to be physically disturbed?		0.00 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.10 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5	Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A	
		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
6.	Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES		
		<input type="checkbox"/>	<input checked="" type="checkbox"/>		
7.	Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES		
		<input checked="" type="checkbox"/>	<input type="checkbox"/>		
8	a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES		
		<input checked="" type="checkbox"/>	<input type="checkbox"/>		
		b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
			<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9	Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES		
		<input checked="" type="checkbox"/>	<input type="checkbox"/>		
10	Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES		
		<input checked="" type="checkbox"/>	<input type="checkbox"/>		
11.	Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES		
		<input checked="" type="checkbox"/>	<input type="checkbox"/>		
12.	a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES		
		<input type="checkbox"/>	<input checked="" type="checkbox"/>		
13.	a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES		
		<input type="checkbox"/>	<input checked="" type="checkbox"/>		
		<input checked="" type="checkbox"/>	<input type="checkbox"/>		

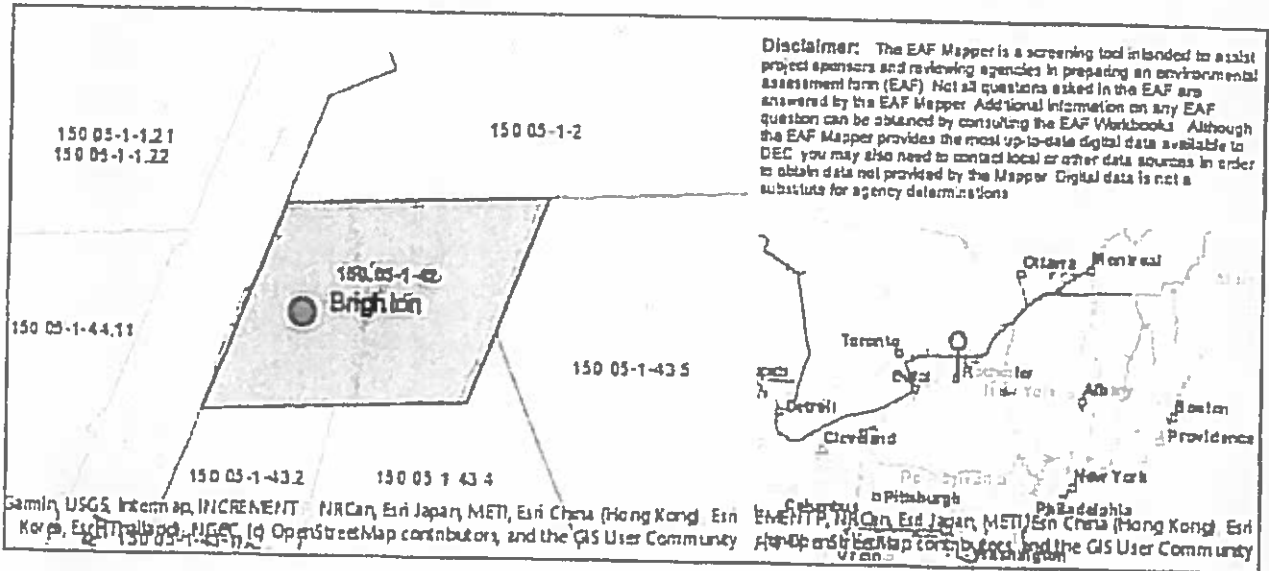
91:6 MW 8-NOV 2021

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plain?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Monroe County</u> Date: <u>10/7/2021</u>		
Signature: <u><i>Justin Pryor</i></u> Title: <u>Director</u>		

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EAF Mapper Summary Report

Monday, August 23, 2021 4:41 PM



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

Agency Use Only [if applicable]

Project:

Date:

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Agency Use Only (If applicable)

Project:	
Date:	

**Short Environmental Assessment Form
Part 3 Determination of Significance**

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

The action is for the sale of a parcel and does not include the physical alteration nor disturbance of the property. Part 1 of the EAF indicates the site contains or is near the following: archaeological resources, 100 Year Flood Plain and wetlands.

Future use or development of the parcel may be subject to a wetland delineation and the New York State Freshwater Wetlands Act.

The sale of this property does not include physical disturbance or development of the parcel and will not result in any significant adverse environmental impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Monroe County	
Name of Lead Agency	Date
Adam J Bello	County Executive
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Proposer (if different from Responsible Officer)

PRINT FORM



ATTACHMENTS:

Description File Name

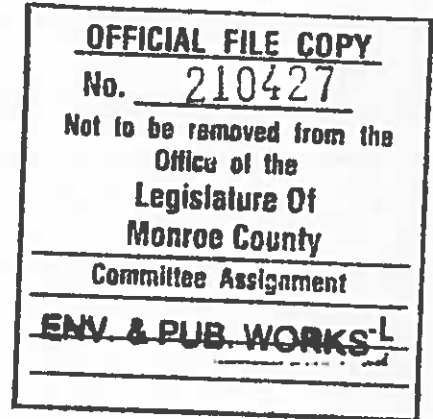
▣ Referral R21-0427.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive



November 5, 2021

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Classification of Action and Determination of Significance Pursuant to the State Environmental Quality Review Act for the Sale of County Owned Tax Foreclosure Property Located at 2950 Atlantic Avenue in the Town of Penfield

Honorable Legislators:

I recommend that Your Honorable Body determine whether the sale of County owned tax foreclosure property located at 2950 Atlantic Avenue in the Town of Penfield may have a significant adverse impact on the environment pursuant to the State Environmental Quality Review Act ("SEQRA").

The proposed sale is as follows:

Table with 3 columns: Parcel, Offeror, Offered Amount. Row 1: 2950 Atlantic Avenue, Regency Legacy II LLC, \$14,000.

This vacant land was acquired January 8, 2018 through tax foreclosure, is surplus property, and is not needed by Monroe County. The price indicated above was negotiated by Monroe County Real Estate.

The sale of County owned tax foreclosure property located at 2950 Atlantic Avenue in the Town of Penfield has been preliminarily classified as an Unlisted action. The SEQRA regulations found at 6 NYCRR Part 617 requires that no agency shall carry out or approve an Action until it has complied with the requirements of SEQRA.

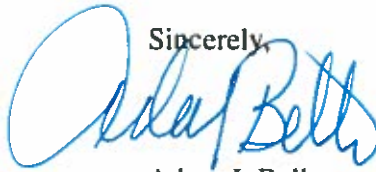
The specific legislative actions required are:

1. Determine that the sale of County owned tax foreclosure property located at 2950 Atlantic Avenue in the Town of Penfield is an Unlisted action.
2. Make a determination of significance regarding the sale of County owned tax foreclosure property located at 2950 Atlantic Avenue in the Town of Penfield pursuant to 6 NYCRR § 617.7.
3. Authorize the County Executive, or his designee, to take such actions to comply with the requirements of the State Environmental Quality Review Act, including without limitation, the execution of documents and the filing, distribution and publication of the documents required under the State Environmental Quality Review Act, and any other actions to implement the intent of this resolution.

This designation will have no impact on the revenues or expenditures of the current Monroe County budget.

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

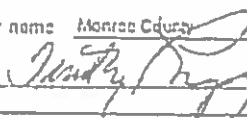
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Proposed sale of County owned property located in the Town of Penfield NY			
Project Location (describe, and attach a location map): 2950 Atlantic Avenue, Penfield, NY			
Brief Description of Proposed Action: 2950 Atlantic Avenue is approximately 15.69 Acres of Land. This is a portion of the County owned property consisting of Tax Account number 109.03-4-25			
Name of Applicant or Sponsor: Monroe County		Telephone: 585-753-1233	
Address: 39 West Main Street		E-Mail:	
City/PO: Rochester		State: NY	Zip Code: 14814
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		15.69 acres	
b. Total acreage to be physically disturbed?		0.00 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		15.69 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MONROE CO LEGISLATIVE
 33 WEST MAIN ST
 ROCHESTER, NY
 14614

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14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name <u>Monroe County</u> Date <u>10/7/2021</u> Signature <u></u> Title <u>Director</u>		

PRINT FORM

EAF Mapper Summary Report

Tuesday, September 7, 2021 3:13 PM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to consult local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

The composite image includes:

- A map of Penfield, NY, showing local roads like Fall Tree Dr, Long Oak Cir, and Sardo Ln.
- A regional map of the Great Lakes basin with cities like Toronto, Detroit, Cleveland, and Rochester marked.
- A list of data sources: "Data from USGS, Intermap, INCREMENT, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), HCCCE, (c) OpenStreetMap contributors, and the GIS User Community".

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

Agency Use Only (If applicable)

Project:

Date:

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private waste water treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Agency Use Only (If applicable)

Project: _____
Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

The action is for the sale of the property and does not include the physical alteration nor disturbance of the property Part 1 of the EAF indicates the site contains or is near the following: archaeological resources, 100 Year Flood Plan and wetlands.

Future use or development of the parcel may be subject to a wetland delineation and the New York State Freshwater Wetlands Act.

The sale of this property does not include physical disturbance or development of the parcel and will not result in any significant adverse environmental impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation that the proposed action will not result in any significant adverse environmental impacts.
Monroe County	
_____	_____
Name of Lead Agency	Date
Adam J. Bello	County Executive
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT FORM



ATTACHMENTS:

Description File Name

- ▣ Referral R21-0473.pdf
- ▣ attachment 21-0473Report.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 19, 2021

OFFICIAL FILE COPY
No. 210473
Not to be removed from the Office of the Legislature of Monroe County
Committee Assignment
ENV. & PUB. WORKS
WAYS & MEANS

Additional Material on File in the Clerk's Office

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Amend Resolution 136 of 2021 to Increase the Contract with CHA Consulting, Inc. to Add Professional Architectural and Engineering Services for the Frontier Field Major League Baseball Requirements Project

Honorable Legislators:

I recommend that Your Honorable Body amend Resolution 136 of 2021 to increase the contract with CHA Consulting, Inc. ("CHA") from the amount of \$72,900 to the amount of \$925,691 for professional architectural and engineering services for the Frontier Field Major League Baseball Requirements Project.

The Rochester Red Wings received notification from Major League Baseball ("MLB") that Frontier Field is required to be in full compliance with all new MLB standards by April 1, 2025 or lose their approval to conduct baseball at a professional level. Improvements and modifications of facility elements could include stadium security, media facilities, home and visiting club facilities, additional team facilities, playing field features, and/or maintenance items. Even though full compliance of all facility standards is not required until April 1, 2025, phased improvements are required by April 1st of 2023 and 2024.

CHA has completed the evaluation, scope, schedule, and cost estimation services, which have been compiled into a final draft report entitled "Frontier Field Major League Baseball Requirements Project Existing Conditions and Recommendations Report" ("Report") as authorized by Your Honorable Body in Resolution 136 of 2021. CHA's opinion of probable cost for the recommended improvements is \$11,995,000. The project will include:

- Visitor Clubhouse Improvements
• Home Clubhouse Improvements
• West Parking Improvements
• Hitting/Pitching Building
• Outfield Padding Replacement
• Security Command Center
• Miscellaneous Facility Improvements

The Report has been submitted to Your Honorable Body for review and approval. Upon approval of the Report, CHA will advance professional architectural and engineering services for the Frontier Field MLB Requirements Project.

The specific legislative action required is to amend Resolution 136 of 2021 to increase the contract with CHA Consulting, Inc., 16 Main Street West, Suite 830, Rochester, New York 14614, from the amount of \$72,900 to the amount of \$925,691 to for professional architectural and engineering services for the Frontier Field Major League Baseball Requirements Project, and any amendments necessary to complete the project within the total capital fund(s) appropriation.

This action is a Type II Action pursuant to 6 NYCRR § 617.5(c)(1) (“maintenance or repair involving no substantial changes in an existing structure or facility”) and (2) (“replacement, rehabilitation or reconstruction of a structure or facility, in kind, on the same site, including upgrading buildings to meet building, energy, or fire codes unless such action meets or exceeds any of the thresholds in section 617.4 of this Part”) and is not subject to further review under the State Environmental Quality Review Act.

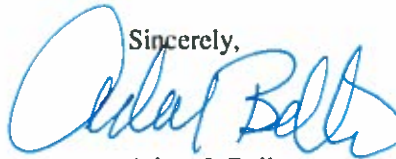
Funding for this contract, consistent with authorized uses, is included in capital fund 2004 and any capital fund(s) created for the same intended purpose. No additional net County support is required in the current Monroe County budget.

The records in the Office of the Monroe County Treasury have indicated that neither CHA Consulting, Inc., nor any of its principal officers, owe any delinquent Monroe County property taxes. The principal officers of the firm are:

Michael D. Carroll, Chief Executive Officer
James Stephenson, President
Dom Bernardo, Chief Financial Officer

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,



Adam J. Bello
Monroe County Executive

AJB:db



FRONTIER FIELD

MAJOR LEAGUE BASEBALL REQUIREMENTS PROJECT

Existing Conditions and Recommendations Report

FINAL DRAFT

NOVEMBER 2021

Completed by:
CHA Consulting, Inc.
111 Winners Circle
Albany, NY 12203
(518) 453-4500



BallparkDesignAssociates

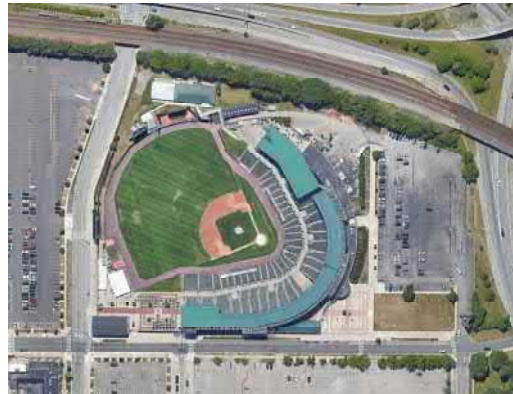


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Executive Summary

Overview:

CHA Companies and Ballpark Design Associates worked directly with representatives from the Rochester Red Wings and Monroe County in the understanding and review of the New MiLB Facility Standards requirements, and an evaluation of the existing stadium player facilities. Multiple meetings were held in the summer of 2021 after the initial June 10th kickoff and a multi-day, on-site visit and inspection/workshop mid-July. Following a MiLB New Facility Standards review of the existing player facilities, the Grading Rubric indicated a compliance rating of 44 deficiency points out of a total of 534 deficiency points; the new MLB rules requiring correction by 2025. Considering the age of Frontier Field, the CHA/BDA inspection team found the facility in generally good condition, and very capable of accommodating the proposed improvements.

In December of 2020, Major League Baseball (MLB) issued New Facility Standards and an existing conditions Grading Rubric to all affiliated Minor League Baseball (MiLB) teams. The previous facility standards, originally implemented in 1991, mandated MiLB ballpark facility requirements covering all areas of the stadium; i.e. minimum seating requirements, concession and restroom requirements, team office and media facilities, and player accommodations and playing field requirements. The new facility standards are significantly reduced and only address player accommodations and playing field requirements.

The timeline for completing Grading Rubric deficiency improvements to be compliant is as follows:

- 2021 Completed Grading Rubric, identified and quantified all existing conditions per new facility standards. Determined the total facility score for Frontier Field to be 44 points.
- 2023 Beginning MLB Opening Day of 2023 regular season – Compliance Threshold will be 30 points.
- 2024 Compliance Threshold declines to 20 points on MLB Opening Day of 2024.
- 2025 Beginning MLB Opening Day of 2025 regular season – Full Compliance.

Multiple options were developed to correct the deficits, primarily affecting the clubhouses and hitting/pitching building, with the rest of the 26-year-old facility currently meeting the standards (1991 and 2020). The proposed modifications/renovations were detailed and outlined for scope by the design team and then estimated by Stuart-Lynn Company in late August. Additional structural exploratory work, looking at possible southward clubhouse level expansion possibilities, was conducted simultaneously for one of the design options. A preferred option was selected that relocated the weight and video room to the new hitting/pitching building, eliminating the need for the costly excavation and clubhouse expansion at the lower level.

Schedule and Cost:

The proposed schedule assumes that all rubric related rubric point mitigation projects would be complete by the 2025 season. The proposed modification construction projects can easily fit into this timeframe, with minimal disruption, if design and investigative efforts begin by early 2022. In this timeframe, there are three 6.5-month off-season construction periods that occur between mid-October to April each year when the clubhouses would be available for renovations. The hitting/pitching tunnel

building and modifications to west parking lot are not constricted by off-season construction windows and could commence when design and bidding is complete.

The construction cost estimates are broken down into seven basic projects, designated A through G; and also provided is the preliminary construction time period of each project.

Overall Cost Summary:

The estimate was broken down into seven basic projects, designated A through G; the construction cost totaling \$9,270,000, Grading Rubric points identified by project:

A. Visitor Clubhouse Improvements	\$749,000	(Q4 2022 – Q1 2023)	17 Points
B. Home Clubhouse Improvements	\$864,000	(Q4 2023 – Q1 2024)	5 Points
C. West Parking Improvements	\$1,341,000	(Q2 2023 – Q4 2024)	2 Points
D. Hitting/Pitching Building	\$4,949,000	(Q1 2023 – Q1 2024)	11 Points
E. Outfield Padding Replacement	\$462,000	(Q1 2022 – Q2 2022)	3 Points
F. Security Command Center	\$185,000	(Q1 2023 – Q1 2024)	3 Points
G. Miscellaneous	\$720,000	(Q1 2023 – Q1 2024)	(Req'd for 'D')

Note: 3 points identified for "Facility Maintenance Staff & Practices"; groundskeeper with turf degree or other approved accreditation to be determined/scheduled

Category G includes necessary mechanical work, as well as a 600 square foot kitchen addition required to return the service entry/lobby, now part of the kitchen use, back into a shared player/kitchen/service lobby.

The Total Project Cost includes the Construction Costs and additional Soft Costs, including Furniture Fixtures & Equipment (FF&E), design fees, Construction Management fees and permitting.

Construction Cost	\$9,270,000
FF&E (10%)	<u>\$742,000</u>
<i>Subtotal</i>	\$10,012,000
Design/Permitting/CA	\$1,400,000
CM (5%)	<u>\$510,000</u>
<i>Subtotal</i>	\$1,910,000
Concept Design (<i>Already Authorized</i>)	<u>\$73,000</u>
Total Project Cost	\$11,995,000

New MiLB Facility Standards Review and Grading Rubric:

New MiLB Facility Standards were issued by Major League Baseball in December of 2020, updating the critical facility standards necessary for hosting an affiliated Minor League baseball franchise. The updated facility standards emphasize the player accommodations and support facilities, and no longer dictate other stadium requirements. The new facility standards include a Grading Rubric which aids in the identification of existing player facility deficiencies, and the development of a program scope of improvements necessary to bring the facility into compliance with the new facility standards, for hosting an MiLB team. In completion of the Grading Rubric, 44 deficiency points were identified. The deficiency points primarily include:

- Inadequate food prep and dining facilities for players in both clubhouses.
- Inadequate player uniform laundry facilities.
- An insufficient number of team coaches' lockers, and lack of direct access to non-player shower and restroom facilities.
- A Visitor Manager's Office without direct access to non-player shower and restroom facilities, or sufficient area for coaches' meetings.
- Visitor Coaches' lockers not separated from the player locker area.
- No Female Staff or Game Official accommodations; including dedicated locker room, restroom or shower facilities.
- An insufficient area for player weight training.
- Only (1) hitting and pitching practice tunnel area provided; (2) tunnels are required.
- Lack of a dedicated and secure player parking area and building entrance.

The existing player clubhouse facilities are limited to the lower level of the stadium, and within a confined area. An improvement study has determined that through interior modifications of the existing facilities, a modest building area expansion, the construction of a freestanding hitting and pitching practice facility, and the dedication of a player parking area, the stadium can be brought into compliance with the new MiLB Facility Standards. The interior improvements, as discussed in more detail later in this report, primarily include limited room modifications and infrastructure changes, and finishes upgrades. The building expansion at the lower level will provide additional area for accommodating expanded food prep and dining, and weight training requirements. A new freestanding hitting and pitching practice building will provide the necessary area for (2) hitting/pitching tunnels and a parking lot expansion will provide a dedicated and secure area for player parking and building entrance.

Existing Conditions – Architecture & Interiors:

The CHA/Ballpark Design Associates design team, as well as mechanical, electrical and structural engineers toured the ballpark, cataloguing existing conditions. The majority of the identified MLB Rubric points stem from clubhouse level programmatic issues and the single existing batting tunnel. The focus of the existing conditions investigation relates to these spaces.

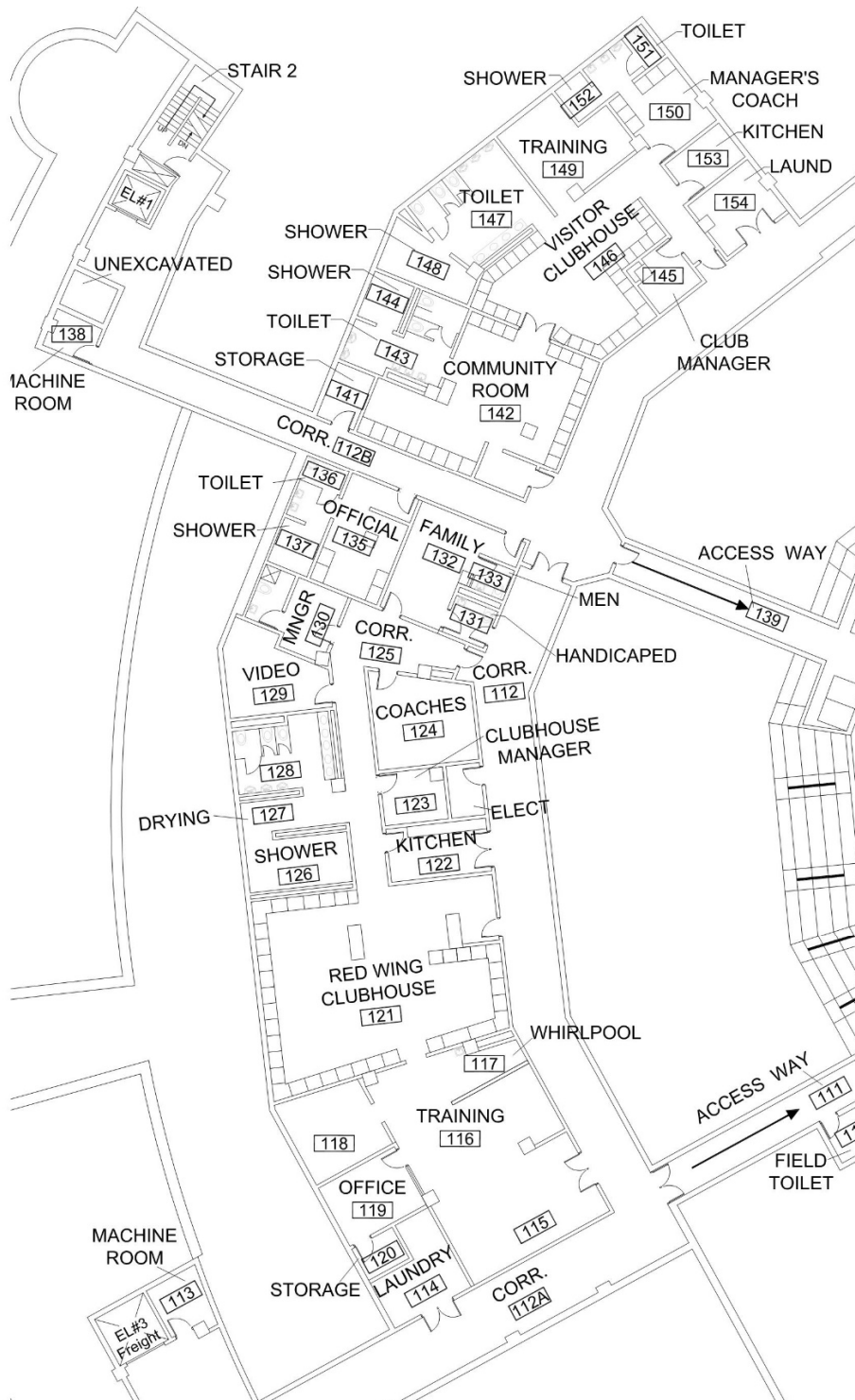
The existing clubhouse level is one level below the entrance/street level and main concourse level. The level contains three locker room suites, one home and two visitor, and associated support spaces. The floor to floor is 12'. The field is 7" above the clubhouse level and directly accessed by 3 tunnels: to the

two dugouts and behind home plate. A central circulation spine separates the visitors' side from the home team clubhouse. An exit stair and elevator connect this central spine to the main entrance and administrative suite above. A southerly corridor connects to a player/kitchen entrance above with another exit stair and large service elevator.

The clubhouse level spaces have been kept in relatively good condition, and only minor modifications have been made to the original floor plan. The interior walls and partitions are primarily painted CMU (Concrete Masonry Units), with painted concrete perimeter/retaining walls. 30" nominal square concrete structural columns (typical) and associated 1' deep x 8' square drop panel caps support a flat concrete slab above. In most spaces the slab above is exposed and painted. Spaces along the central spine generally have suspended 2'x2' acoustical tile ceilings at 8'-8" above the finished floor. It is anticipated that spaces with suspended ceiling assemblies currently would either have those maintained or have them replaced depending on condition.

The large team restrooms and shower rooms are in good condition and can be maintained with minor cosmetic upgrades, primarily painting. The shower rooms have cement plaster suspended ceilings, 4"x4" glazed wall tile and 2"x2" ceramic mosaic tile flooring. The restrooms are painted CMU with epoxy flooring and solid plastic floor-mounted, overhead-braced toilet partitions.

The other clubhouse level rooms are primarily painted CMU walls with 4" rubber bases and exposed painted structure above. Floor finishes are varied; including carpet, VCT, rubber, epoxy and sealer at service spaces.



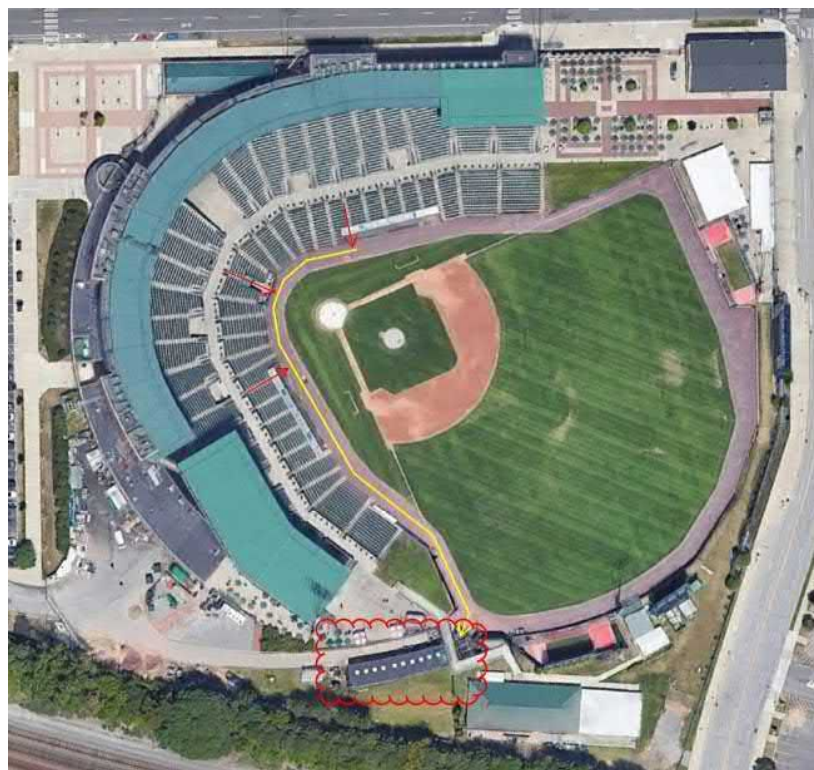
Existing Clubhouse Level Plan

The typical doors are 2" thick nominal by 3'x7' painted steel in a painted hollow metal frame. The frames have a 2" face with a 4" header. The hardware is functional. No door replacement is anticipated.

New doors, frames and cased openings would be required for new plan configurations. New doors, frames and hardware would match existing.

The existing painted wood custom open-front lockers could be refurbished and painted, and the new required locker count could be accommodated with the existing lockers. Their dimensions exceed the new requirements. An all new locker estimate has been developed as well. New kitchen millwork will be required with the new enlarged team kitchen/dining spaces. The home team training suite base and wall millwork is in good condition and can be maintained in the future plan. The tile hydrotherapy (whirlpool) area is too small and will need to be expanded.

The hitting and pitching practice tunnel or building is accessible from the field, not directly from the clubhouse. From the clubhouse players must go through the tunnels to their respective dugouts, then along the warning track along the first base line to the hitting and pitching practice tunnel or building beyond right field. The circuitous route is approximately 470' from the visitors' clubhouse and 400' from the home team clubhouse. The hitting and pitching practice tunnel or building is slightly curved following the service drive from the west and difficult to add to due to underground utilities, the railroad right of way and a significant hill to the south.



The hitting and pitching practice tunnel or building is light steel framing with a low-slope membrane roof and vertical steel siding. Mechanical systems have been upgraded within the last 5 years. The multiple rooftop skylights have been obscured/coated to eliminate natural lighting and its fluttering effect on the ball. Coiling overhead doors could easily be added to the north wall along the service drive should the building be repurposed for storage.

1. Proposed Improvements – Clubhouse Level:

The clubhouse modifications were developed to eliminate all the associated rubric points. Fundamentally there are three options for the clubhouse level: the base scheme pursues modifications within the existing footprint, an excavation alternate explores expansion to the south of the clubhouse below the existing concourse and a preferred alternate that avoids the costly 1,600 square foot below concourse excavation and adds the missing program component, the weight room, to the hitting/pitching building. All three options are similar with minor redistribution of some program elements, the preferred alternate also addresses some program redistribution in the home clubhouse kitchen/dining and training suite.

Due to the CMU partition construction at the clubhouse level as well as trenching required below the slab for new plumbing fixtures, the modifications were carefully designed to be minimally invasive. Rooms were repurposed where possible and plumbing modifications occur adjacent to already plumbed areas. Electrical service, lighting and IT changes are easily accommodated in the exposed structure/ceilings. Changes to door openings were kept to a minimum, with new doors requiring to be cut into CMU partitions with steel lintels added to support the block above and eliminated doors requiring block infill.

The additional existing community/visitor locker room, restroom and showers provided the area for the new rubric programmatic requirements. The existing cannibalized community/visitor locker room's shower and water closet area can easily be reused for the female staff changing area. Both existing home and visitor team restrooms and showers have the appropriate fixture count. Likewise, the locker counts and locker dimensions satisfy the rubric requirements. The visitors' coaches restroom/shower complies and can be shared by the manager, requiring minor room reorganization/reallocation.

Modifications/Renovations developed based on the rubric:

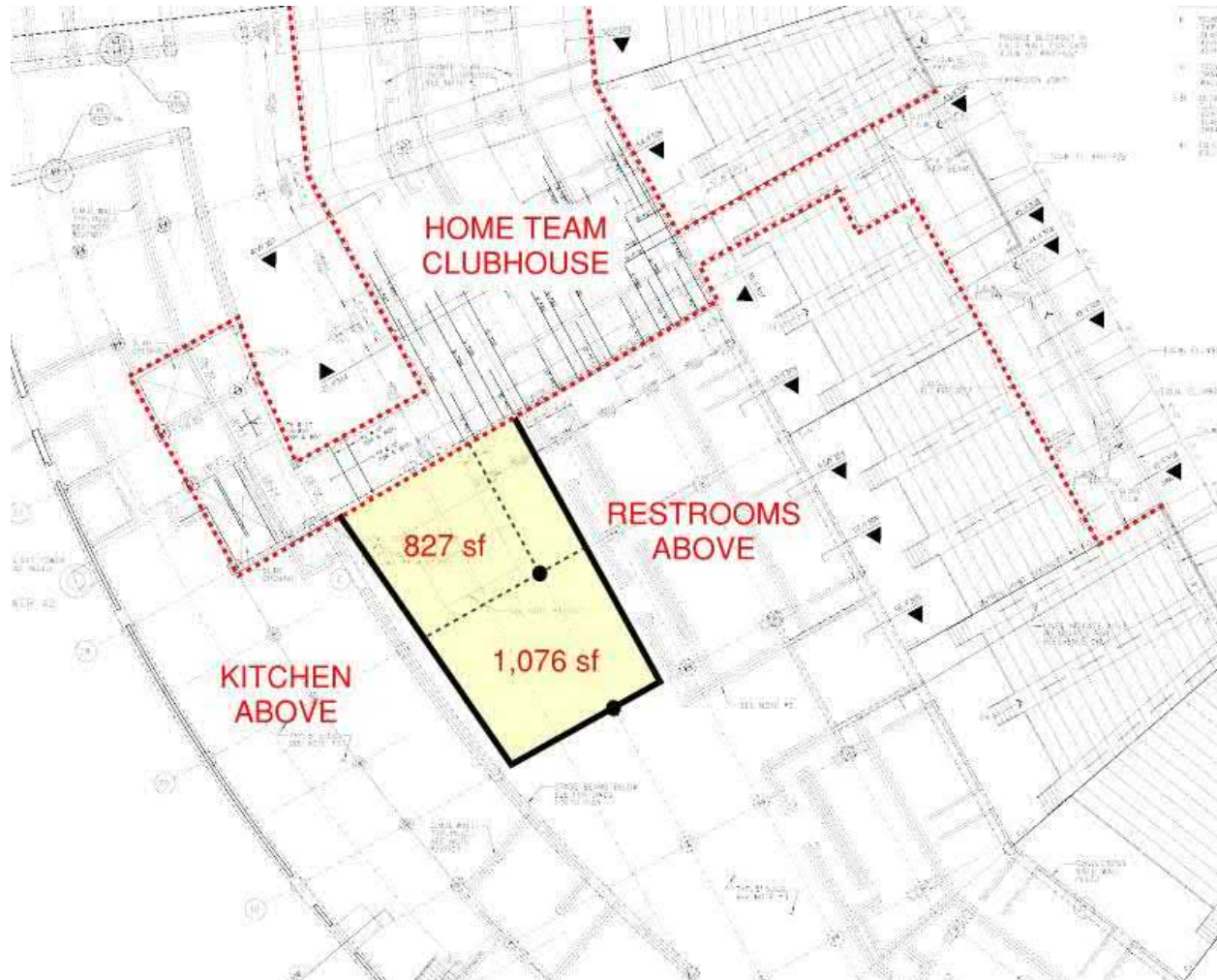
1. Coaches' lockers and field managers' offices require adjacent restrooms and showers
2. Field managers should have an expanded office that can accommodate meetings
3. Home and Visitor Kitchens/Commissaries need to be expanded to allow for player dining; 300 square feet minimum
4. A weight room of 750 square feet minimum must be available to both teams
5. Female staff facilities; changing, restrooms and showers must be provided
6. (2) hitting/pitching tunnels are required
7. Provide laundry sink(s)

The base scheme depicts a weight room created in the easterly 10' corridor in both the home and visiting clubhouse. The new hitting/batting tunnel facility could also be expanded to accommodate this function. In this scenario the visiting clubhouse might still maintain some redundant equipment in the corridor/weight room for convenience. In the alternate scheme the weight room would be in the expanded area south of the existing footprint.

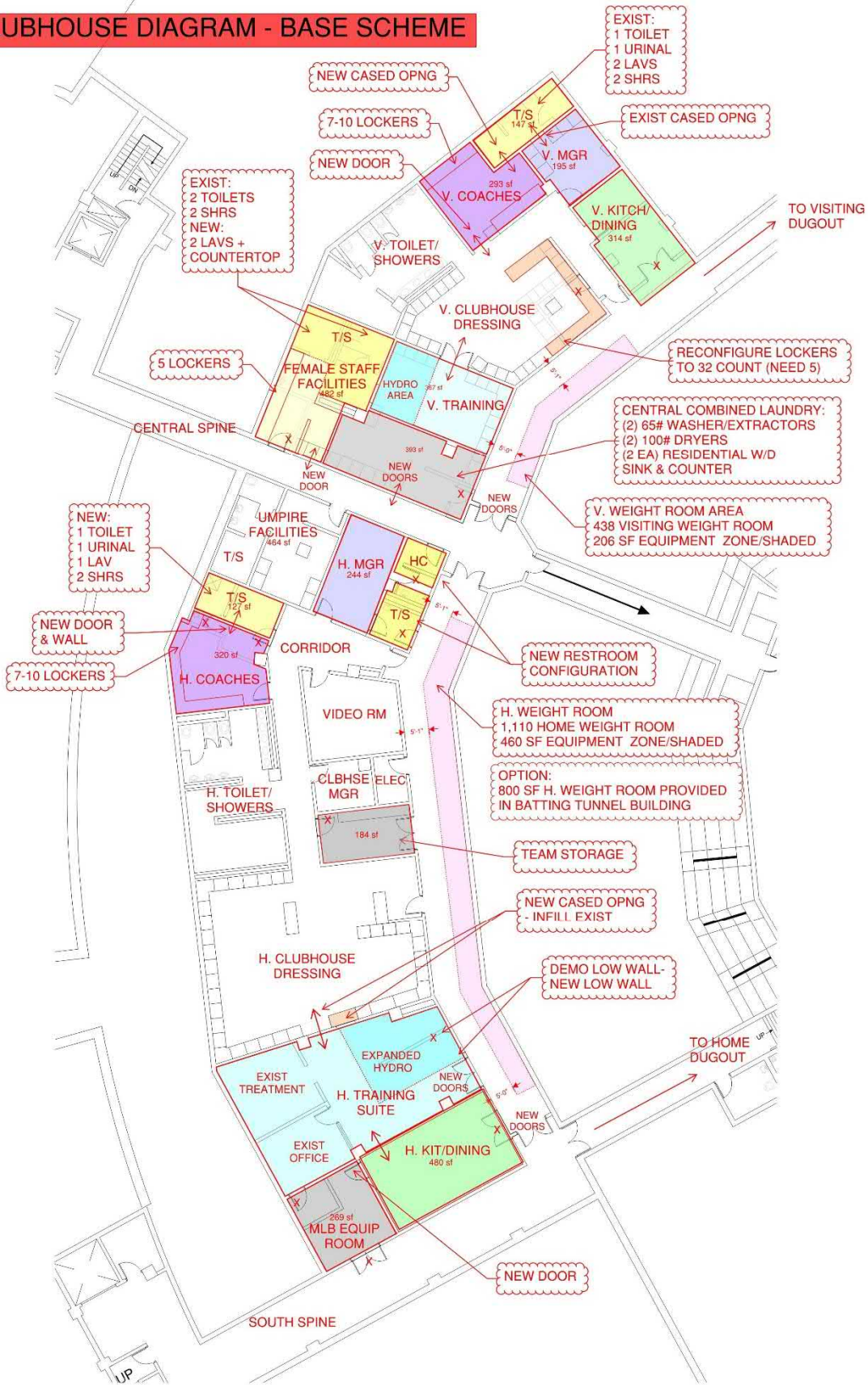
The excavation alternate scheme would build 1,600 square feet to the south of the Home Clubhouse under the concourse area above, avoiding the kitchen foundations to the west, and the restroom foundations to the east. In this way, extremely costly modifications on the concourse level can be

avoided. The existing structural/foundation system makes this possible by utilizing reinforced concrete caissons secured to bedrock below the clubhouse floor level.

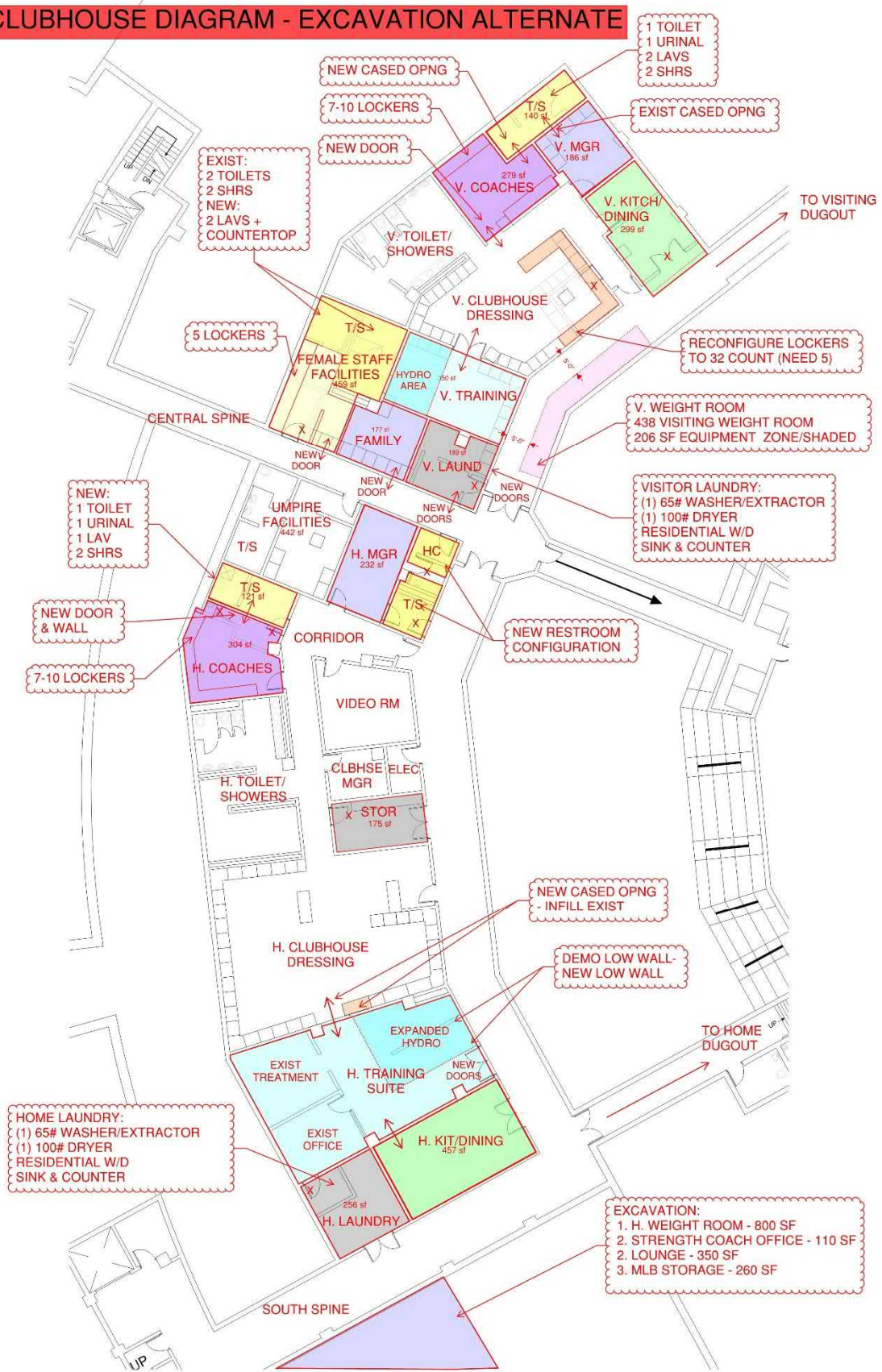
Excavation would occur from above, and a soldier pile & wood lagging soil retention system would be employed below the foundations until they are stabilized the new perimeter concrete wall construction of the addition. The new ceiling/roof construction would be similar to that of the existing clubhouses; a 2-way concrete slab with a concrete topping slab at the concourse. The new floor would be concrete slab on grade, flush with the clubhouse level.



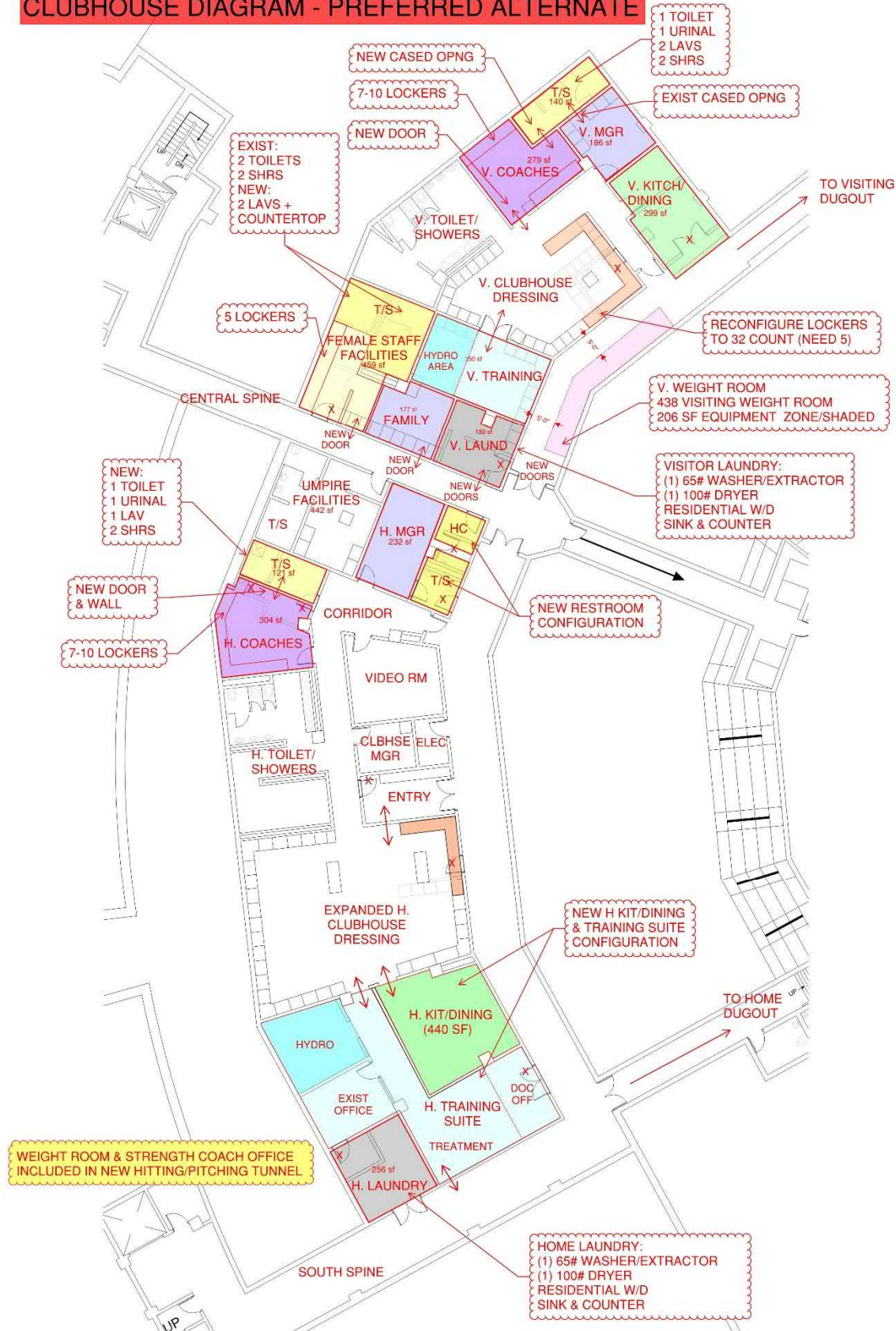
CLUBHOUSE DIAGRAM - BASE SCHEME



CLUBHOUSE DIAGRAM - EXCAVATION ALTERNATE



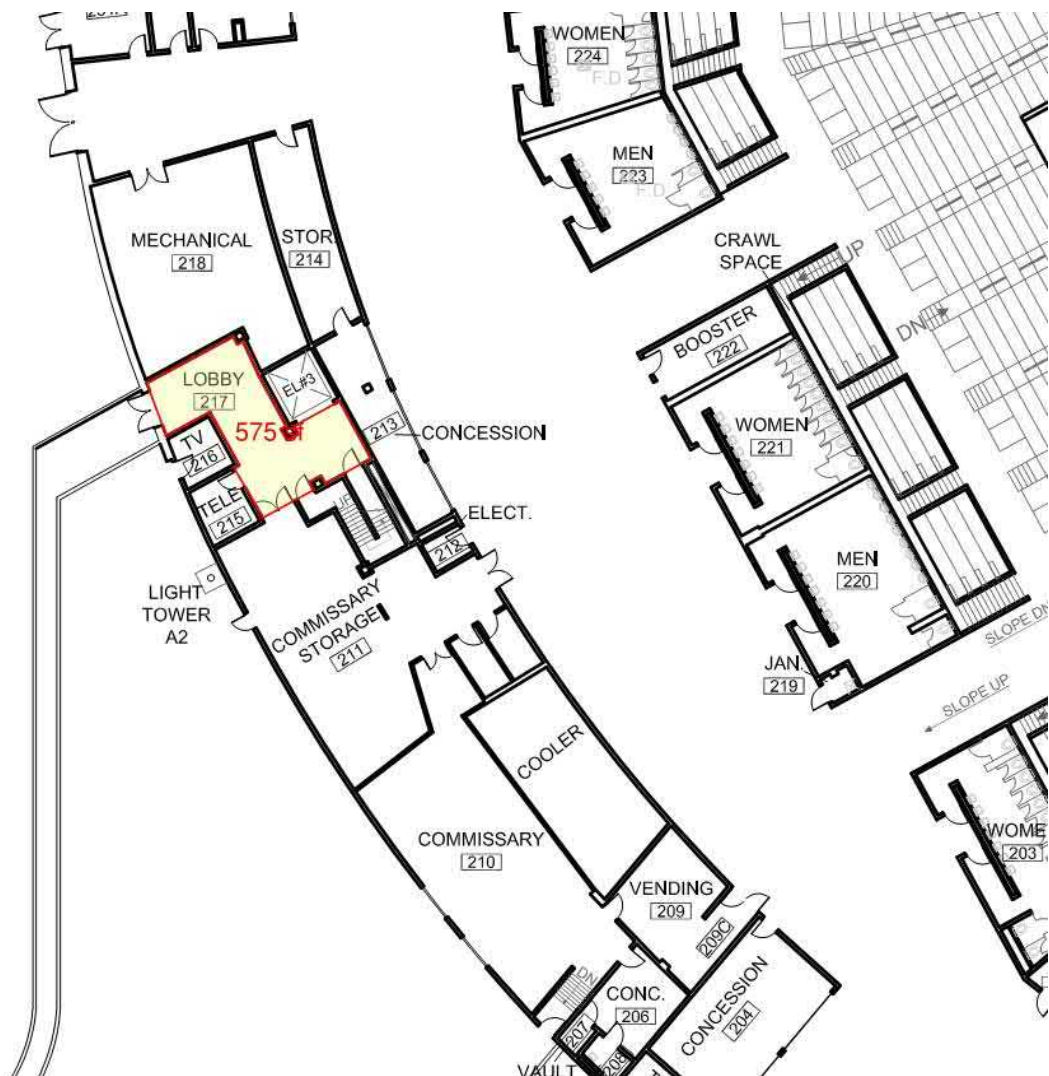
CLUBHOUSE DIAGRAM - PREFERRED ALTERNATE



2. Proposed Improvements – Hitting/Pitching Practice Building:

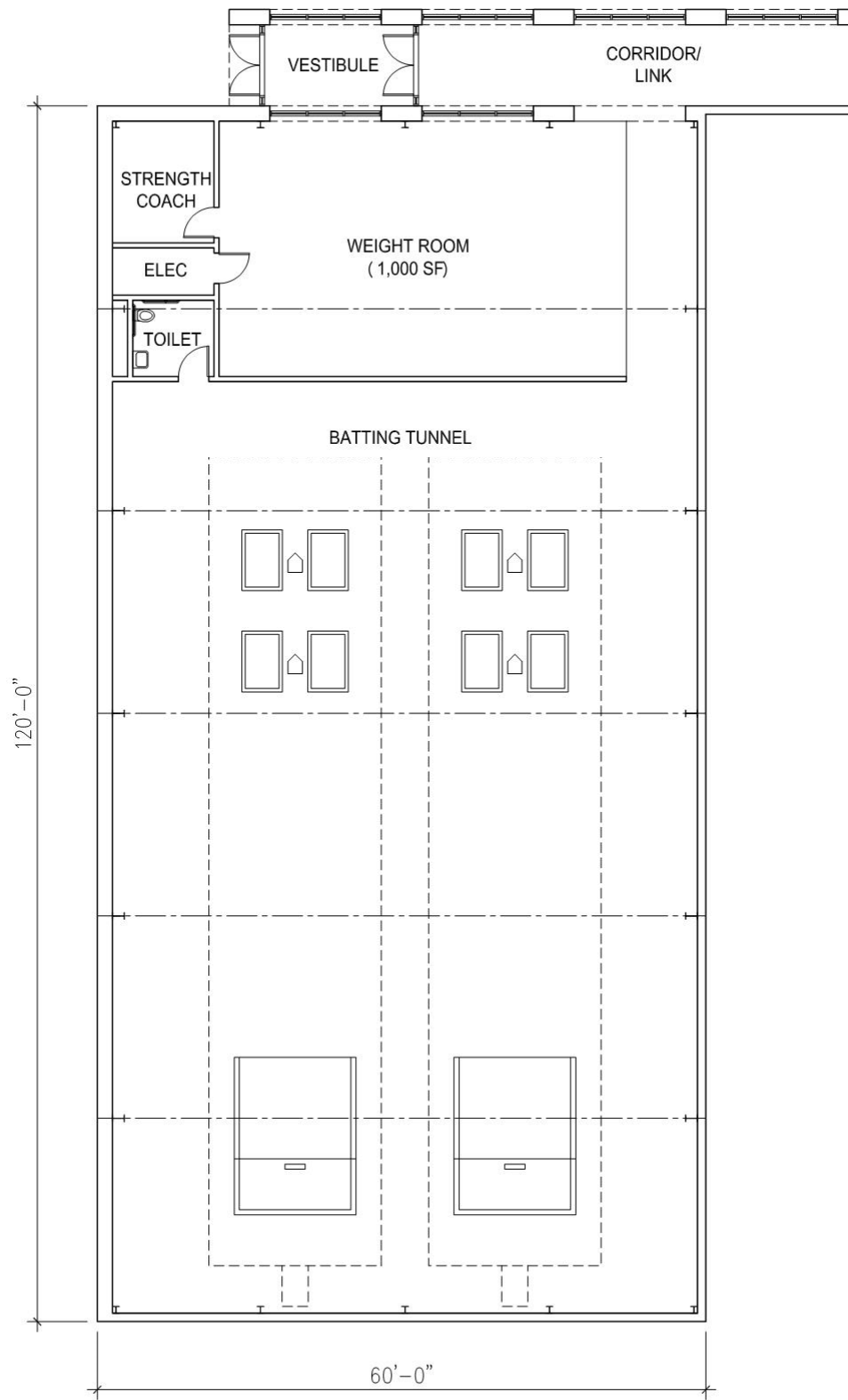
The hitting/pitching tunnel building, if located one level up at the west parking area, would only be 240' from the home team clubhouse and accessible route would be all under cover. A spacious daylighted weight room is co-located there in the preferred scheme. Secure player parking with surveillance, another requirement, could be part of the proposed site modifications in the west parking lot.

A kitchen expansion project is currently planned for at the service yard and careful attention has been paid the circulation routes around the new expansion footprint. As part of the base project a 600 square foot kitchen expansion is planned to account for the elimination of current kitchen prep space in the existing clubhouse/kitchen service lobby. The existing service lobby needs to be isolated from the functioning kitchen per the original design for code reasons, it is part of the stadium's and clubhouse level's egress system.



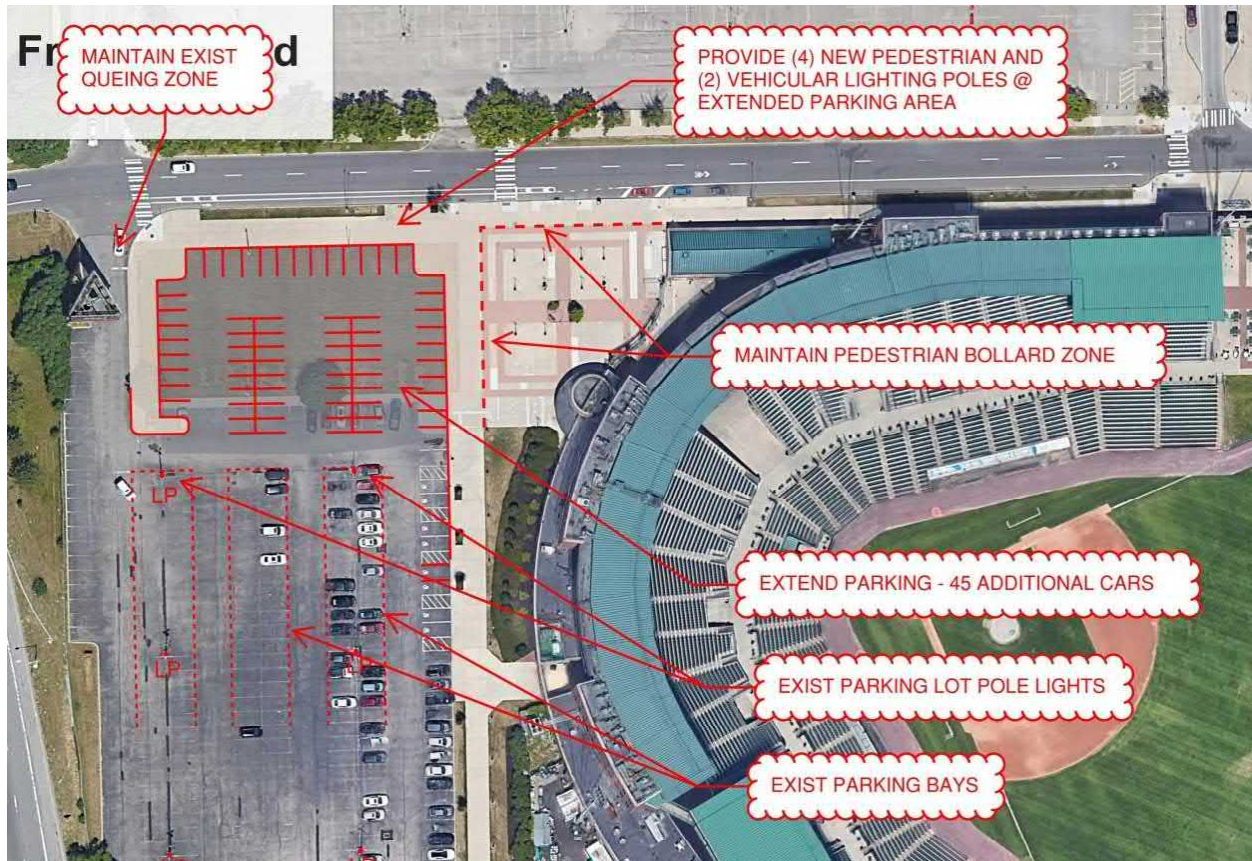
The new hitting pitching tunnel building could effectively shield the service yard and continue with the stadium architectural vocabulary on the two exposed sides. The structure is envisioned as a pre-engineered steel frame building with standard cost-effective siding on the two hidden sides.





3. Proposed Improvements – West Parking:

An existing unused lawn area north of the west parking is proposed to be reorganized to provide more VIP parking with the loss of parking for the hitting/pitching tunnel building and the required dedicated player parking.

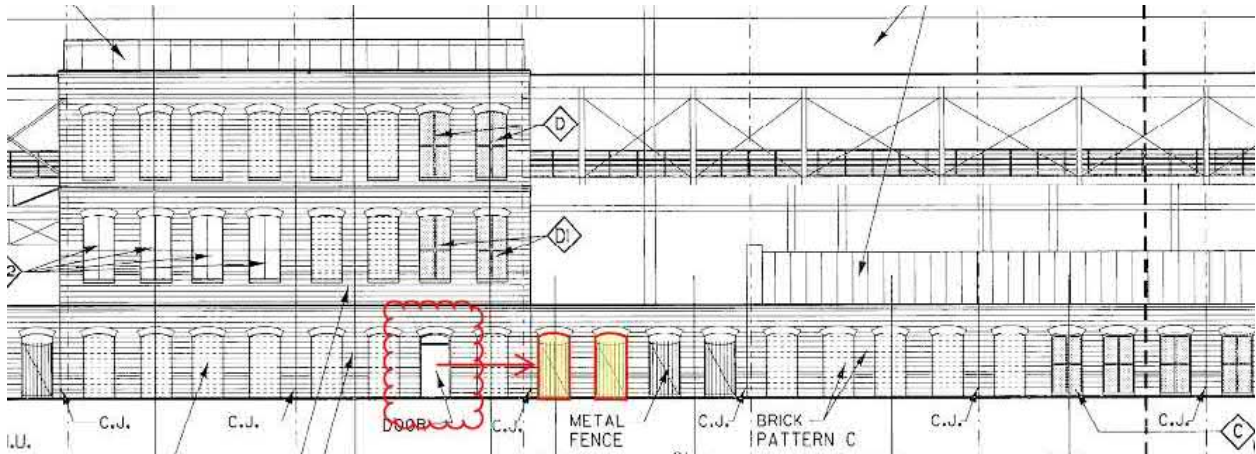


4. Proposed Improvements – Security Command Center:

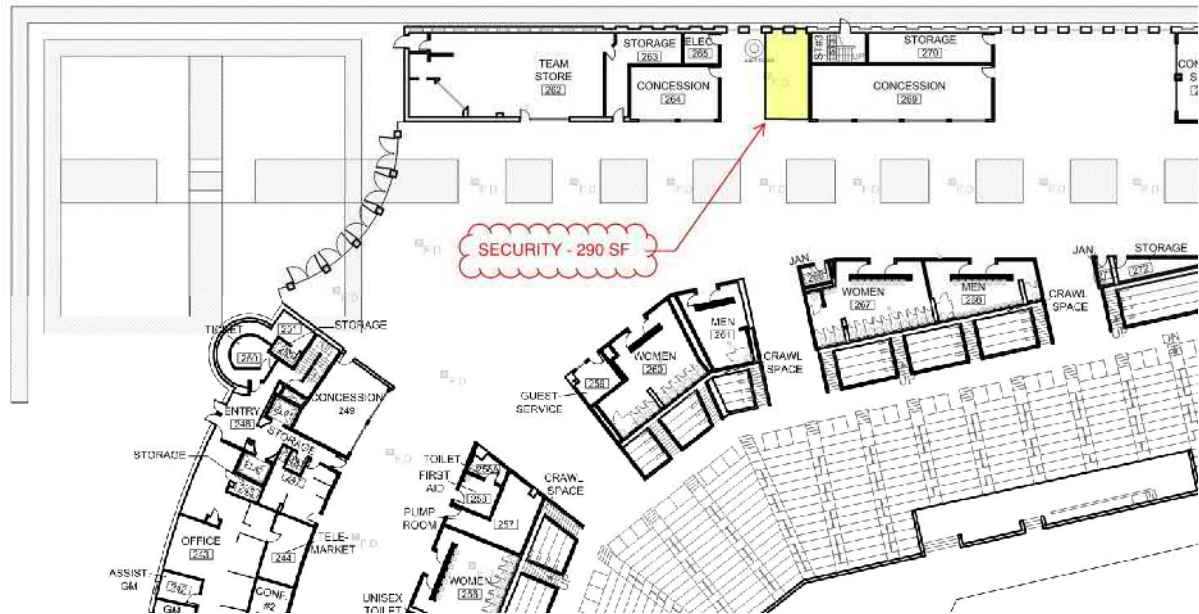
A dedicated security command center/office is proposed for the main concourse adjacent to the main entry. It would be a single level structure nestled into the existing structures to the north. The 290 square foot building would have direct access to the concourse as well as access to Platt Street.



Concourse Elevation



Platt Street Elevation



Plan Location

Proposed Schedule:

The proposed schedule assumes that all rubric related rubric point mitigation projects would be complete by the 2025 season. The proposed modification construction projects can easily fit into this timeframe, with minimal disruption, if design and investigative efforts begin by early 2022.

The projects can be neatly grouped into several projects:

- Visitor Clubhouse Renovations
- Home Clubhouse Renovations
- Home Clubhouse Expansion
- Hitting & Pitching Tunnel Building
- Modifications to West Parking Lot

In this timeframe, there are three 6.5-month off-season construction periods that occur between mid-October to April each year when the clubhouses would be available for renovations. The upcoming off-season is too soon to accommodate a design-bid-award-construction sequence. This would have the 2022-2023 off-season construction period the first possible clubhouse renovation. The home and visitor clubhouse renovations could be done sequentially, or all at once, depending on cash flow available.

Offseason Construction Windows:

1. October 2022 – April 2023
2. October 2023 – April 2024
3. October 2024 – April 2025

The hitting/pitching tunnel building and modifications to west parking lot are not constricted by off-season construction windows and could commence when design and bidding is complete. The completion of the hitting/pitching tunnel building allows the existing tunnel to be converted to badly needed storage for the service yard.

Frontier Field Existing Conditions/Recommendations Electrical Report

Summary of Electrical Findings and Recommendations

Most of the existing electrical and lighting equipment are in working condition. It is recommended to add new panels for the New Batting Cages and in the Home Clubhouse, to assist with power distribution in those areas. In various areas new lighting is required and recommended to upgrade existing fixtures in the modified spaces to match the new fixtures. As an add alternate it is recommended to replace all existing lighting with LED lighting and to run lighting analysis to confirm new lighting would meet the required foot candles for each of the specific spaces.

Old Batting Cages

Electrical – Depending on the future use, reconfiguration of existing receptacle circuits may be required. Per discussions with the design team, it is anticipated that this space will be utilized as storage for team operations and potentially for the grounds keeper's equipment. It is not anticipated that any mechanical work on any grounds' equipment will be completed in this facility therefore the lighting appears to be adequate for the future use.

New Batting Cages

Electrical Recommendations:

It is recommended to install a 200A 480V Panel for lighting and mech equipment fed from main distribution panelboard located in Electrical Room 231 on Level Two Main Concourse. Emergency Lighting shall be fed from LEMC panel located in Electrical Room 231 on Level Two Main Concourse. A 45kVA 480V-208/120V Transformer to feed a 100A 208/120V panel for distribution in the new batting cages will be provided. The HVAC system for the Batting cages will be powered by the 480V Panel.

Clubhouse

Spine

Lighting – Lighting controls will need to be reconfigured in this area.

Security – ¾" EMT conduits will be routed to the security monitoring room that will be utilized to monitor all entrances to Visitor Clubhouse, Home Clubhouse, Umpire Facilities, Female Staff Facilities, Laundry room, and Equipment Room.

Visitor Kitchen/Dining

Electrical – The existing receptacle circuits will need to be reconfigured and it is likely new circuits will be required to support updated equipment as well as meet current electrical codes.

Lighting – Lighting controls will need to be reconfigured and old fixtures will be removed and replaced with new lighting fixtures.

Visitor Clubhouse Dressing

Lighting - Lighting controls will need to be reconfigured and new lighting fixtures will be required to supplement existing lighting fixtures.

Visitor Training & Hydro Area

Electrical – the existing receptacle circuits will be reconfigured and new circuits will be required to support updated equipment as well as meet current electrical codes.

Lighting – Lighting controls will need to be reconfigured in this area on existing lighting fixtures.

Fire Alarm – Relocation of notification devices will be required in this area.

Central Combined Laundry

Electrical – (8) 208V/2P Circuits & (6)120V/1P Receptacles will need to be added to this area to serve the new laundry equipment

Lighting – Lighting controls will need to be reconfigured and new lighting fixtures will be required.

Female Staff Facilities

Electrical – Reconfiguration of existing receptacle circuits will be required for the repurposing of the space.

Lighting – Lighting controls will need to be reconfigured and old fixtures will be removed and replaced with new lighting fixtures.

Fire Alarm – New notification devices will be required.

HC

Electrical – Receptacle circuits will need to be added to this area.

Lighting – New lighting fixtures will be required to supplement space.

Home Manager & T/S

Electrical – the existing receptacles circuits will be reconfigured for the repurposing of the space.

Lighting – Old fixtures will be removed and replaced with new lighting fixtures.

Home Coaches & T/S

Electrical – The existing receptacles circuits will be reconfigured for the repurposing of the space.

Lighting – Old fixtures will be removed and replaced with new lighting fixtures.

Home Training Suite

Electrical – The existing receptacles circuits will be reconfigured and additional receptacle circuits will be required to support updated equipment as well as meet current electrical codes.

Lighting – Lighting controls will need to be reconfigured and new lighting fixtures will be required to supplement existing lighting fixtures.

Fire Alarm – New notification devices will be required.

Home Kitchen & Dining

Electrical – the existing receptacles circuits will be reconfigured and additional receptacle circuits will be required to support updated equipment as well as meet current electrical codes.

Lighting – Lighting controls will need to be reconfigured and old fixtures will be removed and replaced with new lighting fixtures.

Fire Alarm - New notification devices will be required.

MLB Equipment Room

Lighting – Lighting controls will need to be reconfigured and new lighting fixtures will be required to supplement existing lighting fixtures.

Expanded Home Club House

Electrical – New circuits will be required to support the updated equipment and general receptacles.

Lighting – New lighting fixtures required.

Parking lot Renovation

Lighting – New site light/parking lot light fixtures will be required. The lights will be powered from existing lighting panel located in the Electrical Room 231 on Level Two Main Concourse.

Security Gate – Power to the access control/security gate will be fed from panels in new batting cages building.

Security System –1” Conduit from security devices will be routed to the security monitoring room.

Product Assumptions Club House:

- General Space Lighting – 4’ Lironia FEM Fixture
- Drop Down Ceiling Lighting - 2x4 Lironia BLC Troffer
- All wiring shall be contained in a ¾” minimum EMT conduit
- General purpose branch circuits shall be minimum 20A rated utilizing #12 copper wire.

Frontier Field Existing Conditions/Recommendations Report

Summary of HVAC and Plumbing Findings Recommendations

CHA reviewed the HVAC and plumbing conditions based on the proposed architectural renovations to meet the requirements of the MiLB facility standards. Much of the existing mechanical equipment is original to the building as is approaching its end of life. Replacement of these units should be anticipated soon and considered as the improvements of the facilities are completed if funding allows.

Minimal changes to mechanical and plumbing equipment will be required to support the proposed improvements required to meet the MiLB Facility standards.

New mechanical equipment providing heat, air conditioning and ventilation will be required for the new batting cage facility. Minor plumbing needs will be required to control roof runoff.

The plumbing systems are of varying ages and minimal work will be needed for anticipated changes.

Existing Batting Cages

HVAC Systems:

The existing batting cages mechanical system consists of a gas fired rooftop air handling unit and a sidewall exhaust fan. The rooftop unit was said to be installed in 2014 or 2015. The exhaust fan age is unknown but looks to be original to the batting cages. The exhaust fan is controlled by a switch located on the wall below the exhaust fan.

HVAC Recommendations:

It is recommended that these mechanical components stay as they are in current condition. These components will also be adequate for the conversion of the existing batting cages into a storage option assuming no mechanical on grounds equipment will be completed within the space.

New Batting Cages

HVAC Recommendations:

It is recommended for the new batting cages that a 25-ton packaged rooftop unit be installed on the ground with a housekeeping pad to serve the batting cage area and corridor. New gas piping will be needed to serve the packaged rooftop unit. Ductwork shall be run along the length of the batting cages and corridor. A 1-ton ductless split system heat pump for the vestibule is also recommended.

Clubhouse

HVAC Systems:

The clubhouse is served by an air handler on the lower roof providing ventilation air, 20 Fan Coil Units served by the dual temp glycol system provided within each space for temperature control of the rooms, and 4 exhaust fans on the lower roof for exhausting required spaces.

HVAC Recommendations:

ASHRAE life expectancy for fan coil units are a median of 20 years and up to 30 years. The fan coil units are believed to currently be 26 years old. It is recommended fan coil units be considered for replacement soon. The exhaust fans and air handler unit were not observed during the visit but are believed to be original as well. Based on these being assumed to be original, it is recommended that they be replaced in the near future. Although the replacement of the HVAC equipment is not necessary to meet the intent of the MiLB renovations they may want to be identified as an add alternate for consideration and to avoid future near term work with the renovated spaces.

All but fan coil unit-21 shall be adequate to serve current spaces and be repurposed for anticipated changed spaces. Fan coil unit-21 will need to be replaced and upsized for the larger visitor kitchen. New exhaust ductwork exhausting the laundry gas fired dryers will be needed in the proposed combined laundry room. The current ventilation ductwork and grille in the community room will need to be shifted over into the new combined laundry room including a new wall penetration. The current exhaust ductwork in the visitor community room will need to be shifted over into the new visitor clubhouse due to the new combined laundry room.

Plumbing Systems:

The Clubhouse Water Closets and Urinals are wall mounted manual flush valve types. Lavatories are also wall mounted. Shower rooms are provided for each team. The two team kitchens consist of a countertop mounted kitchen sink. There are 2 laundry rooms for each team. These are served by a hot water tank and storage tank located in the mechanical room with an unknown age.

Plumbing Recommendations:

The current plumbing equipment and piping were observed to be in good condition. Additional hot and cold potable water as well as sanitary and vent piping will be needed for the new 2 new kitchen spaces including a kitchen sink and dishwasher in each space. New piping will also be needed to the new combined laundry room for the 2 large washers, 2 residential washers, and 1 sink. The new laundry room will also need new gas piping re-routed from the existing line in the corridor.

Batting Cage Equipment:



Rooftop Air Handling Unit



Sidewall Exhaust Fan

Clubhouse Equipment:



Typical Fan Coil Unit



Dual Temp Glycol Piping

September 14, 2021

Johnathan Hickock, P.E.
CHA Consulting, Inc.
16 West Main Street, Suite 830
Rochester, New York 14614



RE: Monroe County MLB Facility Standards Project for Frontier Field's Existing Facility's Structural Evaluation

Existing Drawings of "Greater Rochester Outdoor Sports Facility" dated July & August 1995: A201-A205, A208, A301, A303, A305 & A306, A801 & A802, F100-F102, F106-F108, F112, F210, F301 & F302, F304 & F305, F307, F309, F311, S100-S109, S401-S407, and S601

Renovation Drawings: Frontier Field – Monroe County MLB Improvements Clubhouse Mark-Ups (Revised 8-11-2021); Finish Scope-Description Alternate Scheme; Finish Scope-Description Base Scheme; Interior Assembly Descriptions; Player Parking (Revised 8-13-2021; West Parking Extension (Revised 8-13-2021); and Clubhouse Mark-Ups Alternate (Revised 8-11-2021) provided to RE&LS by CHA email dated August 16, 2021

1.0 Purpose

On August 27, 2021 Ravi Engineering and Land Surveying (RE&LS) perform a schematic design level structural evaluation of the existing Home Team Club House Area and Community Room (Visitor's Clubhouse Area. The purpose of the structural evaluation was to determine the feasibility of:

- 1) Modifying the existing "Home Team Clubhouse" and "Community Room (Visitor Team Clubhouse)" area concrete masonry unit (CMU) walls to accommodate proposed renovations;
- 2) Evaluate the existing facility's structural system to determine possible locations for the proposed 1,500 square foot (SF) "Big Dig" storage Room addition to be located such that its finish floor elevation would be at "Field Level Elevation (88'-0")", to match the finish floor elevation of the "Clubhouse" areas discussed above.

2.0 Observations

From visual observations made during the site visit and study of the existing, referenced drawings, the structural evaluation found:

- The "Clubhouse" area interior CMU walls to be non-load bearing and are provided lateral support by angles attached to the bottom of the reinforced concrete "Clubhouse" area ceilings. The ceiling of the "Clubhouse" area was found to be a reinforced two-way structural concrete slab that is supported by the reinforced concrete walls on its exterior

and by reinforced concrete columns on its interior. These structural elements are supported directly by foundations that bear directly onto bedrock a minimum of 4'-0" below elevation 88'-0".

The top of these two-way concrete slabs are located at "Concourse Level Elevation 100'-0" and serve as the floor system of the existing restrooms' and stadium portals' finish floor system.

The existing floor slab of the "Clubhouse" areas, at elevation 88'-0", is supported by compacted subgrade soils.

- The existing "Grandstand Super Structure Steel Columns" are supported by reinforced concrete drilled caissons at, or near, elevation 100'-0" and extend down to bedrock such that the caissons bear on the same bed rock as the "Clubhouse" area foundations.

Unless noted differently above, the existing floor slab of the "Concourse" areas, at elevation 100'-0", is supported by compacted subgrade soils.

- The existing ceiling cracks in the existing "Home Team Clubhouse" area reinforced two-way concrete ceiling slab were observed to be located in Room 121 (ref existing drawing A201) in the located near mid span between building column line 25 and 26. The (2) cracks, while not aligned or connected to each other, were also located in towards the center of the slab their support columns with one between column line B to C and the other between column line C to C.3.

The cracks are located in an area of the Women's Restroom 224 (ref existing drawing A204) at the Concourse Level 100'-0". The floor area of room 224 had been recently prepped and covered with a green concrete coating. No cracks were observed from the top side to the existing two-way concrete "Clubhouse" ceiling / Restroom floor slab.

The cracks did not appear to be "out-of-plane" and did not have an observable excessive crack opening. At the time of this site visit, there were indications of water seeping through the slab crack.

3.0 Conclusion/Recommendations

- All interior "Clubhouse" area CMU wall modifications shall take into consideration the need to provide lateral support at their top at the end of remaining walls following the programmed demolition. "Loose lintels" or reinforced CMU bond beam lintels shall be added at all wall opening. Additionally, the end, vertical cells CMU walls shall be reinforced and grouted at the jambs of the added wall opening.
- The added "Big Dig" storage Room Addition, proposed to have a finish floor elevation of 88'-0", shall be required to be located such that conflict with the existing drilled caissons is avoided or

added lateral support is provided by the added reinforced concrete walls. This is a requirement for both the subgrade south “Concourse” and “Home Team Clubhouse” areas.

- It is RE&LS’ initial and preliminary opinion the cracks in the existing two-way concrete “Clubhouse” ceiling / Restroom floor slab are the result of potential past over loading experienced during the construction phase of the project. It is not our concern there is a potential for catastrophic failure, however, it is our recommendation for the cracks to be monitored continuously going forward. It is also RE&LS’ recommendation that, in future phases of this project, consideration be given to pressure grouting the cracks. This recommendation shall be finalized upon additional cleaning and exposure of the cracks having been completed.

4.0 Disclaimer

The referenced building was visited solely for the purposes described herein. It should be noted that the above report is based only on visual observation. RE&LS has applied a Standard of Care for all professional engineering and related services performed or reported within this email as would have been the care and skill ordinarily used by other professional structural engineers practicing under similar conditions at the same time and in the same locality. Therefore, the opinions, recommendations and conclusions contained herein are based solely on those observed conditions, and there is no claim, either stated or implied, that all conditions were observed.

Sincerely,



Timothy F. Wade, P.E.
Structural Department Manager
Ravi Engineering & Land Surveying, P.C.

Attachments: Appendix A – RE&LS Site Visit Photos

APPENDIX A
Site visit photos taken by RE&LS

- **Field Level “Club House” Area Existing Lateral Support Angle Clips and Caulked Soft Joint at top of Non-Load Bearing CMU Walls**







- **Field Level “Club House” Existing Columns and Two-Way Slab Drop Panels**





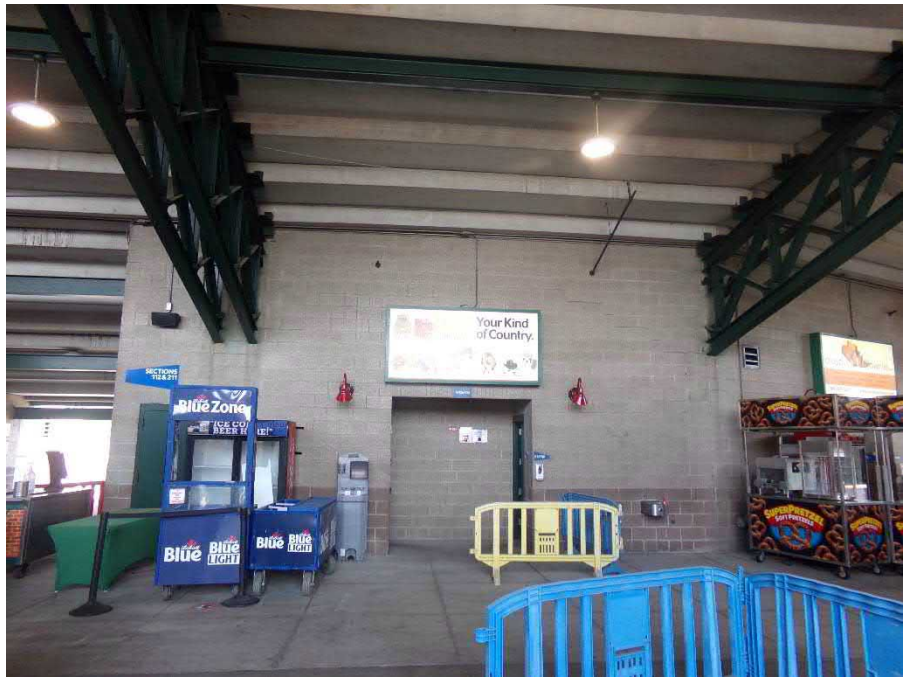




- **Field Level “Club House” Ceiling / Women Restroom Floor Existing Two-Way Slab Crack**

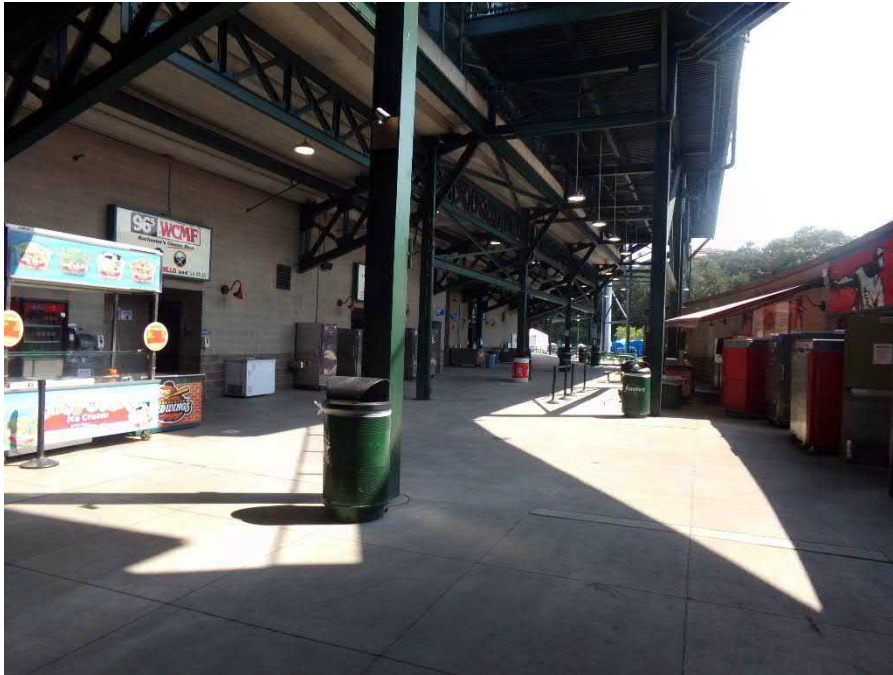




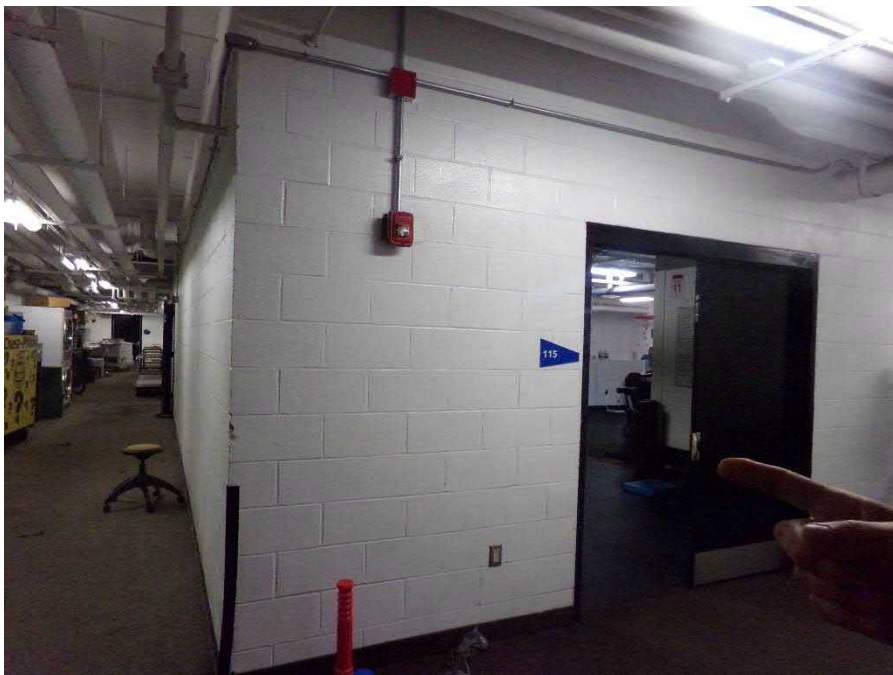




- Existing Concourse Level



- Existing Field Level Area South “Home Team Clubhouse” between Columns Line A-D







APPENDICES

Photos

ACCESS CORRIDOR:



Figure 1.1: Access Corridor



Figure 1.2: Access Corridor



Figure 1.3: Access Corridor



Figure 1.4: Access Corridor



Figure 1.5: Access Corridor

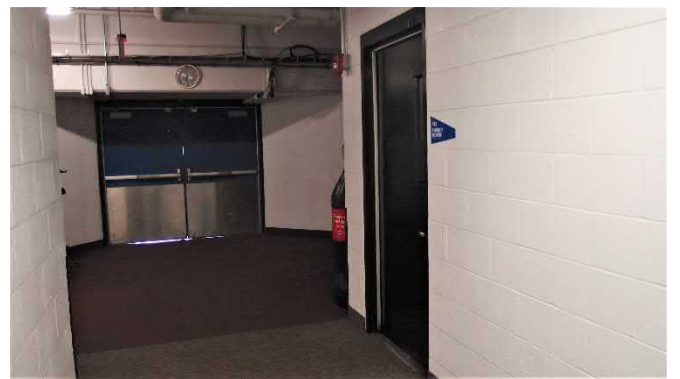


Figure 1.6: Access Corridor



Figure 1.7: Access Corridor



Figure 1.8: Access Corridor

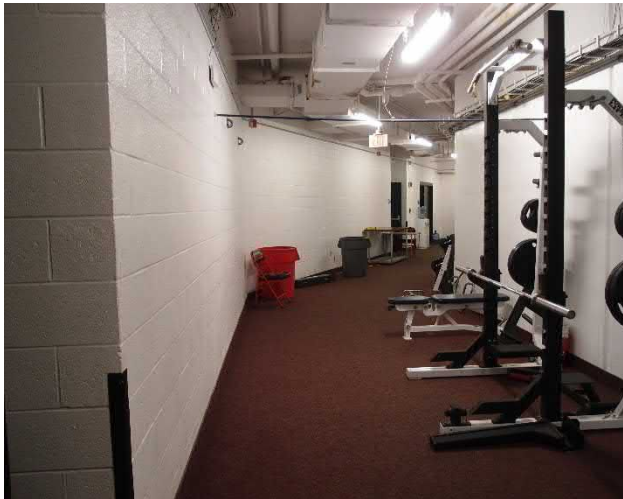


Figure 1.9: Access Corridor



Figure 1.10: Access Corridor



Figure 1.11: Access Corridor



Figure 1.12: Access Corridor



Figure 1.13: Access Corridor

BATTERS EYE:



Figure 2.1: Batters Eye



Figure 2.2: Batters Eye

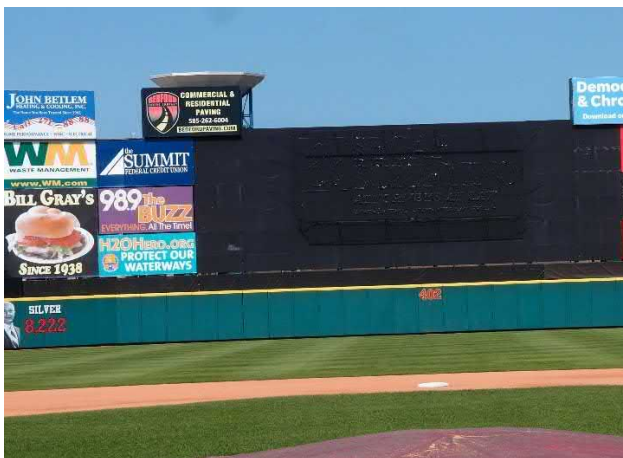


Figure 2.3: Batters Eye

BATTING TUNNEL:



Figure 3.1: Batting Tunnel



Figure 3.2: Batting Tunnel

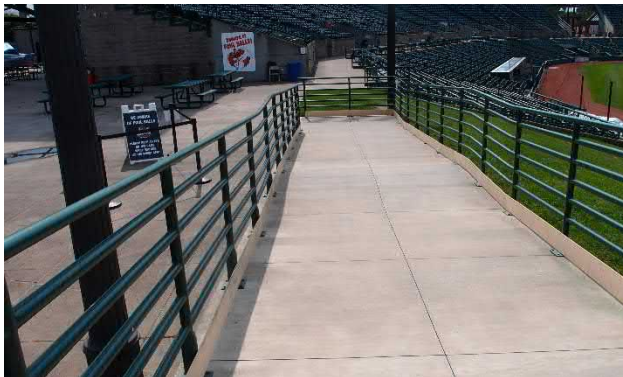


Figure 3.3: Batting Tunnel



Figure 3.4: Batting Tunnel



Figure 3.5: Batting Tunnel



Figure 3.6: Batting Tunnel



Figure 3.7: Batting Tunnel



Figure 3.8: Batting Tunnel



Figure 3.9: Batting Tunnel



Figure 3.10: Batting Tunnel



Figure 3.11: Batting Tunnel



Figure 3.12: Batting Tunnel



Figure 3.13: Batting Tunnel



Figure 3.14: Batting Tunnel



Figure 3.15: Batting Tunnel



Figure 3.16: Batting Tunnel



Figure 3.17: Batting Tunnel

COMMUNITY ROOM:



Figure 4.1: Community Room



Figure 4.2: Community Room



Figure 4.3: Community Room



Figure 4.4: Community Room



Figure 4.5: Community Room



Figure 4.6: Community Room



Figure 4.7: Community Room

FAMILY ROOM:



Figure 5.1: Family Room



Figure 5.2: Family Room



Figure 5.3: Family Room



Figure 5.4: Family Room



Figure 5.5: Family Room



Figure 5.6: Family Room

HOME CLUBHOUSE:



Figure 6.1: Home Clubhouse



Figure 6.2: Home Clubhouse



Figure 6.3: Home Clubhouse



Figure 6.4: Home Clubhouse



Figure 6.5: Home Clubhouse



Figure 6.6: Home Clubhouse



Figure 6.7: Home Clubhouse



Figure 6.8: Home Clubhouse



Figure 6.9: Home Clubhouse



Figure 6.10: Home Clubhouse

LAUNDRY FACILITIES:



Figure 7.1: Laundry Facilities



Figure 7.2: Laundry Facilities



Figure 7.3: Laundry Facilities

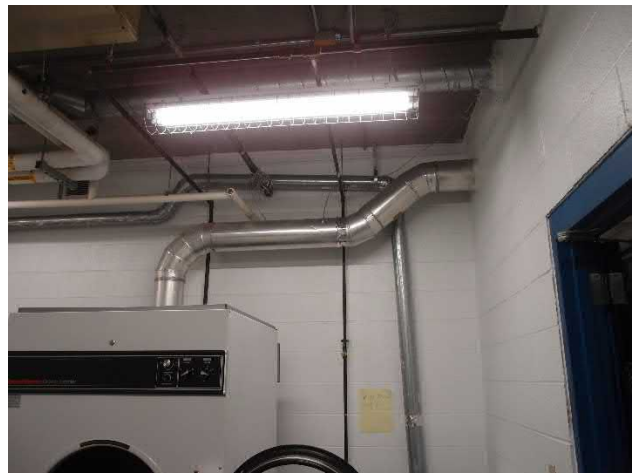


Figure 7.4: Laundry Facilities



Figure 7.5: Laundry Facilities



Figure 7.6: Laundry Facilities



Figure 7.7: Laundry Facilities



Figure 7.8: Laundry Facilities



Figure 7.9: Laundry Facilities



Figure 7.10: Laundry Facilities



Figure 7.11: Laundry Facilities

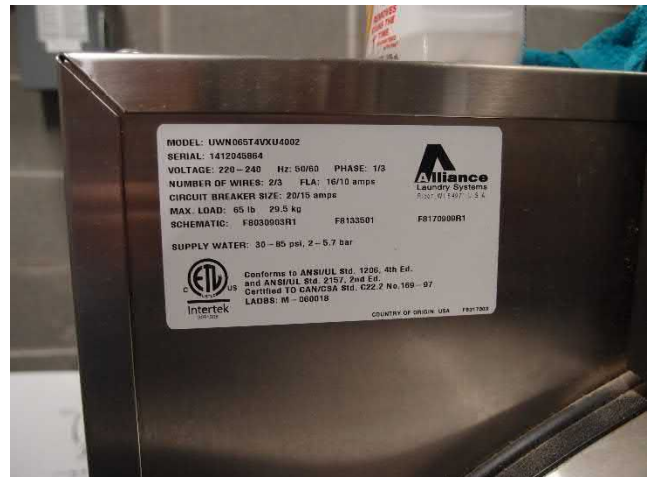


Figure 7.12: Laundry Facilities

UMPIRES:



Figure 8.1: Umpires



Figure 8.2: Umpires

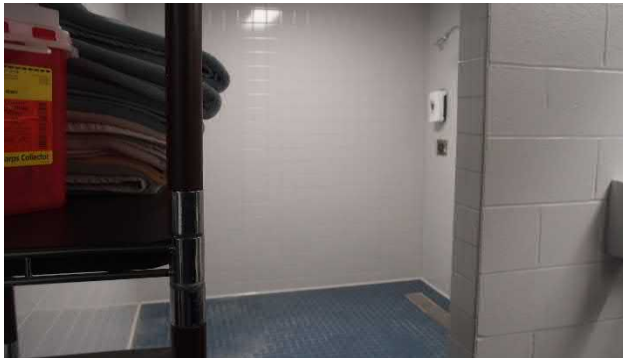


Figure 8.3: Umpires



Figure 8.4: Umpires

PLAYER LOCKER ROOM:



Figure 9.1: Player Locker Room



Figure 9.2: Player Locker Room



Figure 9.3: Player Locker Room



Figure 9.4: Player Locker Room



Figure 9.5: Player Locker Room



Figure 9.6: Player Locker Room



Figure 9.7: Player Locker Room



Figure 9.8: Player Locker Room



Figure 9.9: Player Locker Room

VISITOR COACHES:



Figure 10.1: Visitor Coaches



Figure 10.2: Visitor Coaches



Figure 10.3: Visitor Coaches

VISITOR KITCHEN:



Figure 11.1: Visitor Kitchen



Figure 11.2: Visitor Kitchen



Figure 11.3: Visitor Kitchen

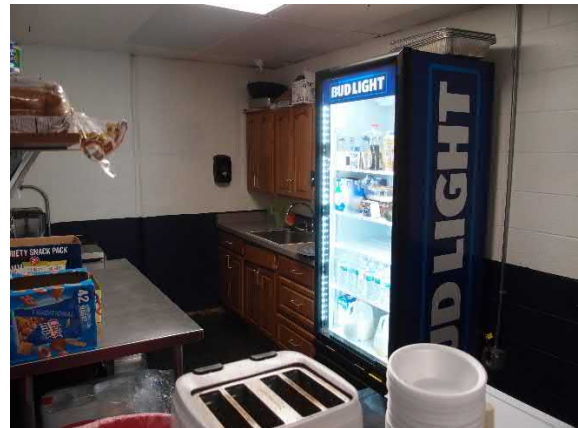


Figure 11.4: Visitor Kitchen



Figure 11.5: Visitor Kitchen

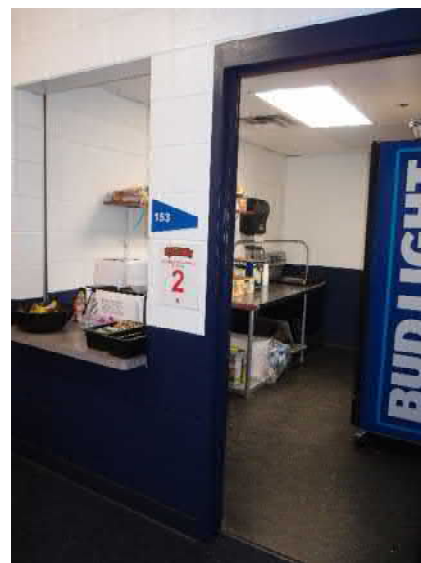


Figure 11.6: Visitor Kitchen

VISITOR MANAGER:

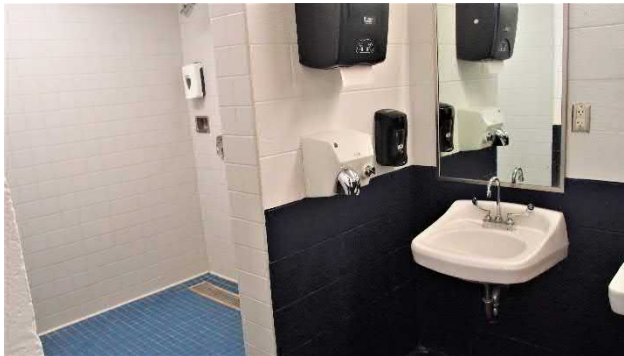


Figure 12.1: Visitor Manager



Figure 12.2: Visitor Manager



Figure 12.3: Visitor Manager



Figure 12.4: Visitor Manager

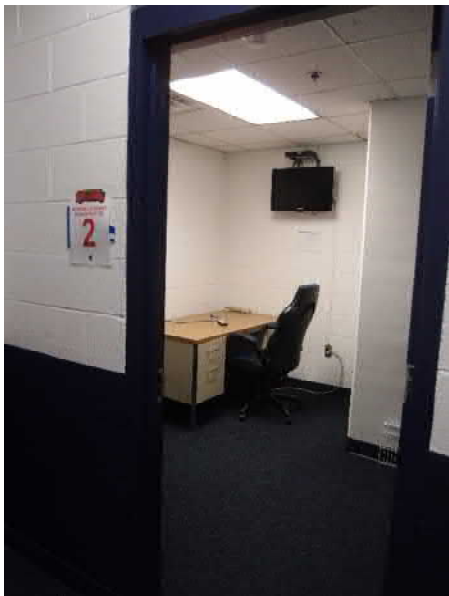


Figure 12.5: Visitor Manager

PLAYER RESTROOM:



Figure 13.1: Player Restroom



Figure 13.2: Player Restroom

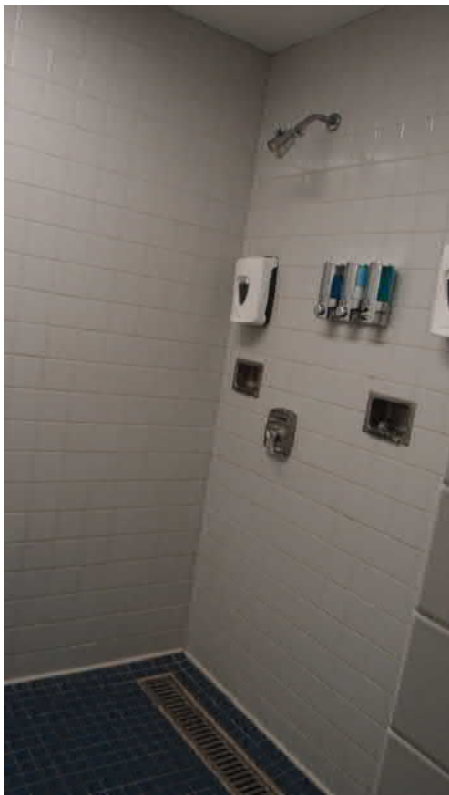


Figure 13.3: Player Restroom

TRAINING AREAS:



Figure 14.1: Training Areas



Figure 14.2: Training Areas



Figure 14.3: Training Areas



Figure 14.4: Training Areas



Figure 14.5: Training Areas



Figure 14.6: Training Areas



Figure 14.7: Training Areas



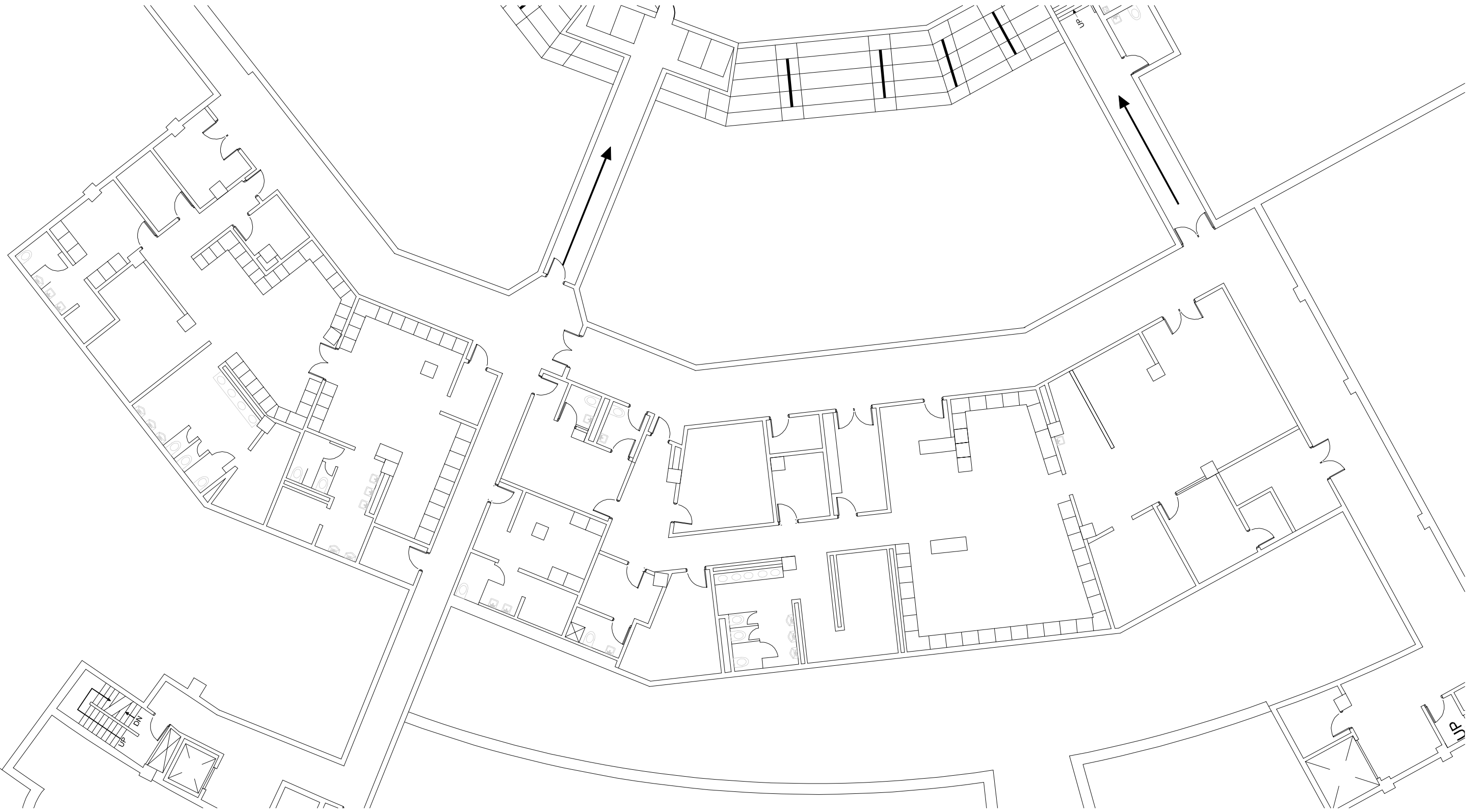
Figure 14.8: Training Areas



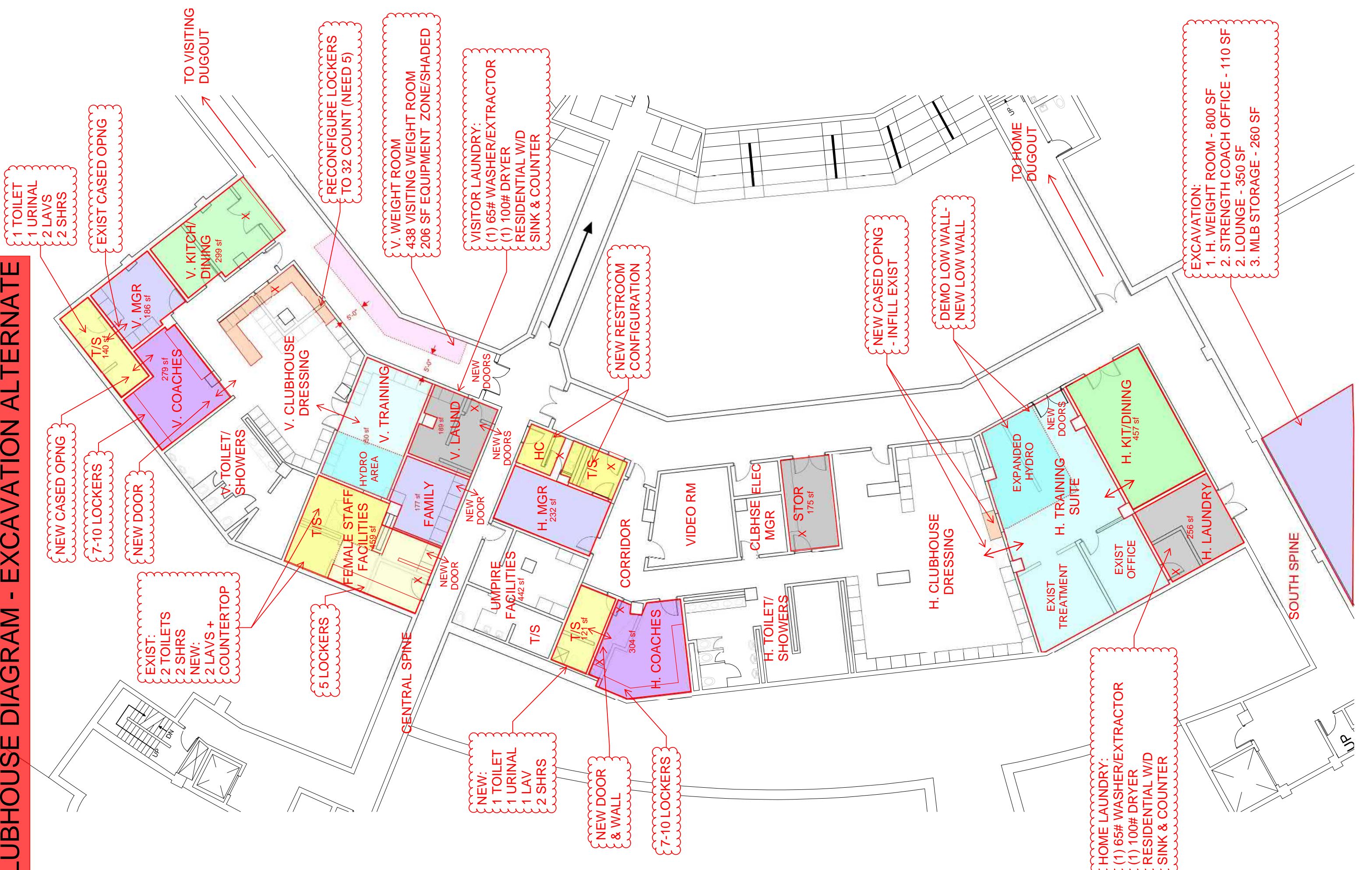
Figure 14.9: Training Areas

Proposed Modifications Scope

CLUBHOUSE DIAGRAM - EXISTING



CLUBHOUSE DIAGRAM - EXCAVATION ALTERNATE



1 TOILET
1 URINAL
2 LAVS
2 SHRS

EXIST CASIED OPNG

TO VISITING
DUGOUT

RECONFIGURE LOCKERS
TO 32 COUNT (NEED 5)

V. WEIGHT ROOM
438 VISITING WEIGHT ROOM
206 SF EQUIPMENT ZONE/SHADED

VISITOR LAUNDRY:
(1) 65# WASHER/EXTRACTOR
(1) 100# DRYER
RESIDENTIAL W/D
SINK & COUNTER

NEW RESTROOM
CONFIGURATION

NEW CASIED OPNG
- INFILL EXIST

DEMO LOW WALL-
NEW LOW WALL

TO HOME
DUGOUT

EXCAVATION:
1. H. WEIGHT ROOM - 800 SF
2. STRENGTH COACH OFFICE - 110 SF
2. LOUNGE - 350 SF
3. MLB STORAGE - 260 SF

NEW CASIED OPNG

7-10 LOCKERS

NEW DOOR

EXIST:
2 TOILETS
2 SHRS
NEW:
2 LAVS +
COUNTERTOP

5 LOCKERS

NEW:
1 TOILET
1 URINAL
1 LAV
2 SHRS

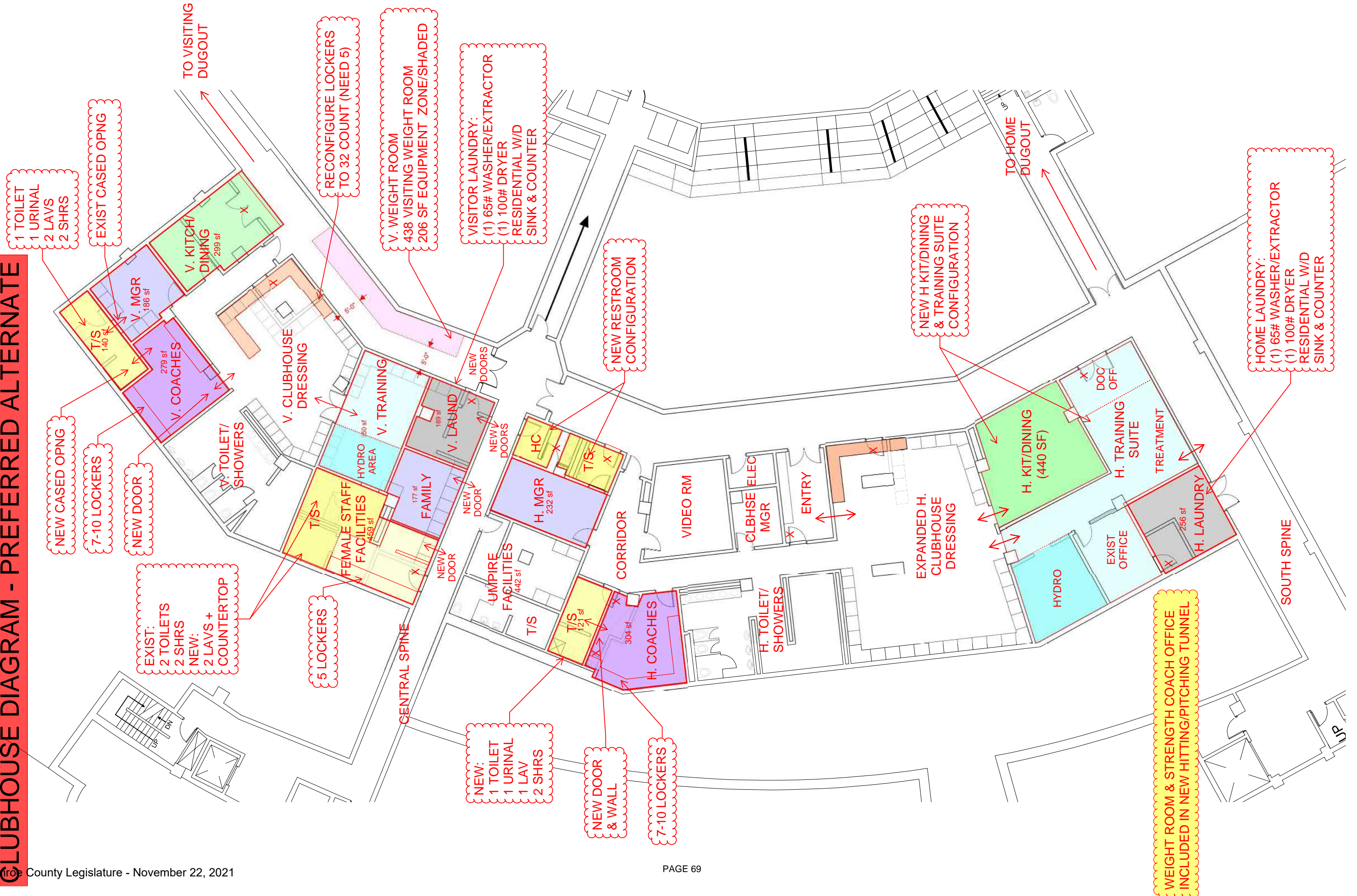
NEW DOOR
& WALL

7-10 LOCKERS

HOME LAUNDRY:
(1) 65# WASHER/EXTRACTOR
(1) 100# DRYER
RESIDENTIAL W/D
SINK & COUNTER

SOUTH SPINE

CLUBHOUSE DIAGRAM - PREFERRED ALTERNATE



ROOM NAME	FLOOR	BASE	WALLS		CEILING		NOTES
			MATERIAL	FINISH	MATERIAL	FINISH	
VISITORS CLUBHOUSE:							
VISITORS MANAGER	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
VISITORS COACHES	CPT	RB	CMU/GWB	PT	EXP/CONC	PT	NEW DOOR & PARTITION - GWB/STL STUD FRAMING
SHARED TOILET	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	
SHARED SHOWER	CMT	RB	CT	-	PLASTER	PT	INSTALL SHOWER PARTITIONS & NEW DOOR
VISITORS CLUBHOUSE DRESSING	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
VISITORS TOILET	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	
VISITORS SHOWERS	CMT ²	CT ²	CT ²	-	PLASTER	PT	
VISITORS TRAINING	RES-1	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITION - GWB/STL STUD FRAMING
VISITORS TRAINING/HYDROTHERAPY	CMT	CMT	CMU/GWB	PT	EXP/CONC	PT	
VISITORS KITCHEN/DINING ⁵	LVT	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITIONING - GWB/STL STUD FRAMING
VISITORS WEIGHT ROOM	RES-2	RB	CMU/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING @ NEW DOOR PARTITION
CENTRAL COMBINED LAUNDRY	EPOXY	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITIONING - GWB/STL STUD FRAMING
CENTRAL SPINE	CPT	RB	CMU/GWB	PT ³	ACT ⁴	-	GWB/STL STUD FRAMING @ NEW DOOR PARTITION
FEMALE STAFF FACILITIES:							
FEMALE STAFF VESTIBULE/DRESSING	CPT	RB	CMU/GWB	PT	EXP/CONC	PT	NEW VESTIBULE PARTITION & NEW DOOR
FEMALE STAFF TOILET	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	INSTALL NEW LAVATORY COUNTER (2 SINKS)
FEMALE STAFF SHOWER	CMT ²	CT ²	CT ²	-	PLASTER	PT	INSTALL SHOWER PARTITIONS
UMPIRE FACILITIES:							
UMPIRE VESTIBULE/DRESSING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NO WORK REQUIRED
UMPIRE TOILET/SHOWER	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NO WORK REQUIRED
HOME CLUBHOUSE:							
HOME MANAGER	CPT	RB	CMU/GWB	PT	ACT	-	NEW PARTITIONING - GWB/STL STUD FRAMING
HOME MANAGER TOILET/SHOWER	EPOXY	RB	CMU/GWB	PT	ACT ⁶	-	NEW PARTITIONING - GWB/STL STUD FRAMING
HC RESTROOM	EPOXY	RB	CMU	PT ¹	ACT ⁶	-	NEW PARTITIONING - GWB/STL STUD FRAMING
ELEC	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NO WORK REQUIRED
HOME COACHES	CPT	RB	CMU/GWB	PT	ACT	-	NEW PARTITIONING - GWB/STL STUD FRAMING
HOME COACHES TOILET/SHOWER	EPOXY	CT	CMU/GWB	PT	ACT ⁶	-	NEW PARTITIONING - GWB/STL STUD FRAMING
VIDEO ROOM	CPT	RB	CMU	PT ¹	ACT	-	
CLUBHOUSE MANAGER	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
TEAM STORAGE	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	
CORRIDOR	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
HOME CLUBHOUSE DRESSING	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
HOME TOILET	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	
HOME SHOWERS	CMT ²	CT ²	CT ²	-	PLASTER	PT	
HOME TRAINING SUITE	RES-1	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITIONING - GWB/STL STUD FRAMING
EXPANDED HYDROTHERAPY	CMT	CMT	CMU/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING @ NEW LOW WALL
EXISTING TREATMENT	RB	RB	CMU	PT ¹	EXP/CONC	PT	
TRAINING OFFICE	CPT	RB	CMU	PT ¹	EXP/CONC	PT	INFILL PART @ REMOVED STORAGE DOOR
HOME KITCHEN/DINING ⁵	LVT	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITIONING - GWB/STL STUD FRAMING
HOME WEIGHT ROOM	RES-2	RB	CMU/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING @ NEW DOOR PARTITION
MLB STORAGE	EPOXY	RB	CMU	PT	EXP/CONC	PT	
SOUTH SPINE	RB	RB	CMU/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING @ NEW DOOR PARTITION

GENERAL NOTES:

- 1 REPLACE MISSING OR DAMAGED RUBBER BASE - OTHERWISE MAINTAIN EXISTING
- 2 CLEAN & PREP EXISTING CMU WALLS FOR NEW PAINT AS SCHEDULED

SCHEDULE NOTES:

- 1 EXISTING CMU WALLS - PAINT
- 2 CLEAN AND REGROUT/CAULK AS NEEDED
- 3 PATCH & PAINT - PAINT NEW WORK
- 4 REPLACE DAMAGED CEILING TILES
- 5 ASSUME 15 LF PLAM BASE/WALL CABS, SOLID SURFACING COUNTER, SINK & DW
- 6 MOISTURE RESISTANT 2x2 ACT SYSTEM

ROOM NAME	FLOOR	BASE	WALLS		CEILING		NOTES
			MATERIAL	FINISH	MATERIAL	FINISH	
VISITORS CLUBHOUSE:							
VISITORS MANAGER	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
VISITORS COACHES	CPT	RB	CMU/GWB	PT	EXP/CONC	PT	NEW DOOR & PARTITION - GWB/STL STUD FRAMING
SHARED TOILET	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	
SHARED SHOWER	CMT	RB	CT	-	PLASTER	PT	INSTALL SHOWER PARTITIONS & NEW DOOR
VISITORS CLUBHOUSE DRESSING	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
VISITORS TOILET	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	
VISITORS SHOWERS	CMT ²	CT ²	CT ²	-	PLASTER	PT	
VISITORS TRAINING	RES-1	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITION - GWB/STL STUD FRAMING
VISITORS TRAINING/HYDROTHERAPY	CMT	CMT	CMU/GWB	PT	EXP/CONC	PT	
VISITORS KITCHEN/DINING ⁵	LVT	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITIONING - GWB/STL STUD FRAMING
VISITORS WEIGHT ROOM	RES-2	RB	CMU/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING @ NEW DOOR PARTITION
FAMILY LOUNGE	CPT	RB	CMU	PT	EXP/CONC	PT	
VISITORS LAUNDRY	EPOXY	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITIONING - GWB/STL STUD FRAMING
CENTRAL SPINE	CPT	RB	CMU/GWB	PT ³	ACT ⁴	-	GWB/STL STUD FRAMING @ NEW DOOR PARTITION
FEMALE STAFF FACILITIES:							
FEMALE STAFF VESTIBULE/DRESSING	CPT	RB	CMU/GWB	PT	EXP/CONC	PT	NEW VESTIBULE PARTITION & NEW DOOR
FEMALE STAFF TOILET	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	INSTALL NEW LAVATORY COUNTER (2 SINKS)
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UMPIRE VESTIBULE/DRESSING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NO WORK REQUIRED
UMPIRE TOILET/SHOWER	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NO WORK REQUIRED
HOME CLUBHOUSE:							
HOME MANAGER	CPT	RB	CMU/GWB	PT	ACT	-	NEW PARTITIONING - GWB/STL STUD FRAMING
HOME MANAGER TOILET/SHOWER	EPOXY	RB	CMU/GWB	PT	ACT ⁶	-	NEW PARTITIONING - GWB/STL STUD FRAMING
HC RESTROOM	EPOXY	RB	CMU	PT ¹	ACT ⁶	-	NEW PARTITIONING - GWB/STL STUD FRAMING
ELEC	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NO WORK REQUIRED
HOME COACHES	CPT	RB	CMU/GWB	PT	ACT	-	NEW PARTITIONING - GWB/STL STUD FRAMING
HOME COACHES TOILET/SHOWER	EPOXY	CT	CMU/GWB	PT	ACT ⁶	-	NEW PARTITIONING - GWB/STL STUD FRAMING
VIDEO ROOM	CPT	RB	CMU	PT ¹	ACT	-	
CLUBHOUSE MANAGER	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
TEAM STORAGE	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	
CORRIDOR	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
HOME CLUBHOUSE DRESSING	CPT	RB	CMU	PT ¹	EXP/CONC	PT	
HOME TOILET	EPOXY	RB	CMU	PT ¹	EXP/CONC	PT	
HOME SHOWERS	CMT ²	CT ²	CT ²	-	PLASTER	PT	
HOME TRAINING SUITE	RES-1	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITIONING - GWB/STL STUD FRAMING
EXPANDED HYDROTHERAPY	CMT	CMT	CMU/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING @ NEW LOW WALL
EXISTING TREATMENT	RB	RB	CMU	PT ¹	EXP/CONC	PT	
TRAINING OFFICE	CPT	RB	CMU	PT ¹	EXP/CONC	PT	INFILL PART @ REMOVED STORAGE DOOR
HOME KITCHEN/DINING ⁵	LVT	RB	CMU/GWB	PT	EXP/CONC	PT	NEW PARTITIONING - GWB/STL STUD FRAMING
HOME LAUNDRY	EPOXY	RB	CONC/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING & RETAINING WALLS
HOME WEIGHT ROOM	RES-2	RB	CONC/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING & RETAINING WALLS
STRENGTH COACH OFFICE	CPT	RB	CONC/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING & RETAINING WALLS
HOME LOUNGE	CPT	RB	CONC/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING & RETAINING WALLS
GENERAL STORAGE	EPOXY	RB	CONC/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING & RETAINING WALLS
MLB STORAGE	EPOXY	RB	CMU	PT	EXP/CONC	PT	
SOUTH SPINE	RB	RB	CMU/GWB	PT	EXP/CONC	PT	GWB/STL STUD FRAMING @ NEW DOOR PARTITION

GENERAL NOTES:

- 1 REPLACE MISSING OR DAMAGED RUBBER BASE - OTHERWISE MAINTAIN EXISTING
- 2 CLEAN & PREP EXISTING CMU WALLS FOR NEW PAINT AS SCHEDULED

SCHEDULE NOTES:

- 1 EXISTING CMU WALLS - PAINT
- 2 CLEAN AND REGROUT/CAULK AS NEEDED
- 3 PATCH & PAINT - PAINT NEW WORK
- 4 REPLACE DAMAGED CEILING TILES
- 5 ASSUME 15 LF PLAM BASE/WALL CABS, SOLID SURFACING COUNTER, SINK & DW
- 6 MOISTURE RESISTANT 2x2 ACT SYSTEM

INTERIOR SYSTEMS/ASSEMBLIES

Walls/Partitions:

New Interior Partitions:

1. 5/8" GWB (Impact/moisture resistant – typical)
2. 6" LGMF assemblies; steel studs @ 16" OC
3. Acoustic batt insulation @ cavity
4. 5/8" GWB (Impact/moisture resistant – typical)

CMU Partition Infill:

1. Remove door and HM frame
2. Infill opening with CMU; align horizontal jointing
3. Paint finish

New Chase Walls:

1. FRP finish
2. 5/8" GWB (Moisture resistant)
3. 3 5/8" LGMF assemblies; steel studs @ 16" OC
4. Acoustic batt insulation @ wall cavity

Note: (2) locations; Home Manager & Home Coaches Toilet/Showers

New Hydrotherapy Low Wall:

1. FRP finish (Hydrotherapy side)
2. 5/8" GWB (Impact/moisture resistant)
3. 3 5/8" LGMF assemblies; steel studs @ 16" OC
4. 3" nominal chase space
5. 3 5/8" LGMF assemblies; steel studs @ 16" OC
6. 5/8" GWB (Impact/moisture resistant)

Note: 12" wide solid surfacing cap @ 3'-6" height

Interior Wall Finish Notes:

1. Drywall accessories/trim (Design basis: Fry Reglet corner guards DMCT-1250 @ outside corners in drywall partitions)

Ceilings:

Acoustical Panel:

- 2' x 2' x 3/4" acoustical panels
- Design basis: USG Mars #86785 USG 4221 Olympia™ ClimaPlus™ Ceiling Panels, Mineral Fiber, White, 24" x 24" or equal
- 15/16" steel grid system
- Design basis: USG DX24 15/16 Grid or equal

New Doors:

- 2" nominal solid web core steel door, painted
- Typical Door: 7'-0" x 3'-0"
- Typical HM Frame: 2" face @ jamb/strike, 4" head
- Hardware per Frontier Field standards

Finishes:

RES-1 [Resilient 1 Flooring: Training suites; treatment areas & circulation]:

- 3.5 mm rubber large format tile (1004 mm x 1004 mm)
- Design basis: Nora "Norament Grano"

RES-2 [Resilient 2 Flooring: Weight rooms]:

- 3.5 mm rubber large format tile (1004 mm x 1004 mm)
- Design basis: Nora "Norament XP"

CPT [Carpet]:

- Modular carpet typical: solution dyed, integral backing
- Design basis: Milliken, Shaw Contract or Mohawk

CMT [Ceramic Mosaic Tile Flooring; Showers & hydrotherapy]:

- 2"x2" thin-set ceramic mosaic tile
- Design basis: Daltile "Keystones"

EPOXY [Epoxy Flooring; Toilets, laundry and storage]:

- Modified polyamine epoxy
- Design basis: Tnemec "Deco-Tread"

LVT [Luxury Vinyl Tile/Plank; Kitchen & dining]:

- Text
- Design basis: Tarkett "Event"

RB [Rubber Base]

- 4" base, coved and straight; coved at epoxy & resilient flooring, straight at carpet installations
- Design basis: Tarkett/Johnsonite or equal

Millwork:

Base & Wall Cabinets [Kitchen]:

- 2'-0" deep base cabinets, flush overlay, custom millwork
- 1'-0" deep x 4' high wall cabinets
- Doors & exposed surfaces to be plastic laminate
- Cabinet interiors and shelves to be plastic laminate
- Solid surfacing countertops and 4" back/side splashes
- Undermount stainless steel sink
- Built-in dishwasher

Washroom Accessories [To follow Frontier Field Standards @ new restrooms/showers]:

1. Toilet paper dispensers: OFCI
2. Paper towel dispensers: OFCI
3. Soap dispensers: OFCI

4. Waste receptacle: Design basis: Bobrick B-368-60
5. Mirror: Design basis: Bobrick B-290/24x36
6. Grab bar/toilet back: Design basis: Bobrick B-5806.99x36
7. Grab bar/toilet side: Design basis: Bobrick B-5806.99x48
8. Grab bar/vertical: Design basis: Bobrick B-5806.99x18
9. Grab bar/HC shower: Design basis: Bobrick B-68616
10. Sanitary napkin disposal units: Design basis: Bobrick B-270
11. Folding HC shower seat: Design basis: Bobrick B-5191

Shower Unit:

- 3' x 3' nominal accessible shower unit
 - Design basis: Comfort Designs #SST 3838 TR .75 RRF
 - Unit to include base, trench drain and wall panels
- Note: (2) locations; Home Manager & Home Coaches Toilet/Showers

EXTERIOR ENVELOPE SYSTEMS

Glazing/Curtainwall Systems:

- Aluminum storefront systems
- Store front design basis: Kawneer Trifab 451T Series; EFCO or equivalent
- Aluminum framing sections to be Kynar finish, 2 1/2" maximum profile, thermally broken
- Typical Glazing: 1" insulated tinted glass panels with low-E coating, gas filled and tinted, assuming U value = 0.29 winter/0.27 summer

Entrance Systems:

- Aluminum entrance system
- Design basis: Kawneer; EFCO or equivalent
- Kynar finish, medium stile doors
- 1" insulated tinted glass panels with low-E coating and tint, assuming U value = 0.29 winter/0.27 summer
- 1" insulated clear glazing at vestibule interior

Roof Assembly (Low-slope membrane roofs <2:12) [Interior → Exterior]:

1. Structure
2. Steel decking
3. 1/2" underboard (Securoc, Densdeck or equivalent)
4. Air/water/vapor barrier
5. 5" minimum polyisocyanurate insulation (R-30 minimum)
6. Tapered insulation to form slope to drains
7. 1/2" overboard (Securoc, Densdeck or equivalent)
8. EPDM fully adhered membrane

Exterior Masonry Veneer Wall Assembly [Interior → Exterior]:

1. North/gable and west walls to follow existing stadium detailing and fenestration
2. 5/8" gypsum drywall interior finish (impact resistant)
3. 6" steel stud framing
4. 6" nominal rock wool cavity insulation
5. 5/8" fiberglass mat gypsum sheathing
6. Air/water/vapor barrier
7. 4" continuous rigid insulation
8. 2" air space
9. 4" face brick typical (match existing brick size/color), cast stone and decorative CMU base





Exterior Siding/Panel Wall Assembly; Design basis: Butler “ThermaWall” Wall System (or Varco Pruden equivalent) [Interior → Exterior]:

1. Structure (Butler “Widespan” Structural System)
2. Butler “ThermaWall” Wall System, Kynar finished, “Fineline” 4” panels

Primary Roof Assembly (Sloped standing seam roof); Design basis: Butler “ThermaLiner” Roof System (or Varco Pruden equivalent) [Interior → Exterior]:

1. Structure (Butler “Widespan” Structural System)
2. Painted steel liner
3. Vapor retarder/barrier
4. Fiberglass blanket insulation (R-30 equivalent)

INTERIOR SYSTEMS/ASSEMBLIES

Doors:

- Exit doors: 2” nominal insulated ptd steel door
- Batting cage entrance doors: Medium stile fully glazed ptd steel doors
- Door: 7’-0” x 3’-0”
- Frame: HM 2” frame
- Hardware per Frontier Field standards

Floor Finishes:

Turf:

- Short pile synthetic turf with thatch zone and built-in foam pad
- Design basis: AstroTurf PGPN with factory attached 5mm foam pad

Pitching Mounds:

- Clay mound mix profile to match game field

Vestibule:

- Surface mat with frame
- Design basis: C/S "Pedimat" anodized aluminum with recycled rubber insert

Corridor Link:

- Resilient rubber flooring
- Design basis: Nora "Norament Grano" hammered finish

Batting Cages:

Retractable, cable-supported batting cages:

- All netting will be retractable to one end of the building, utilizing a suspended steel rail system (Unistrut-like frame) from the structure above
- The side curtains will have embedded tie-downs in the slab and weighted bottom ropes for anchorage and to reduce deflection
- Entrance flaps in the netting at each home plate end of the netting tunnel
- A netting-mounted deflection pad directly behind home plate
- A dark background tarp at the pitching end of the tunnel
- Electrical and data outlets will be needed at both ends of the tunnel; typically embedded in the slab
- Lighting should be 200 footcandles and in a pattern that will avoid a strobe-effect on the pitched ball

Dimensions: 14'h. x 15'w. x 90'l

Basis of Design:

- Manufacturer: Allied Signal
- Model: Spectra; polyethylene fiber; #18 (.058 inches); 1-3/4 inch squares
- Netting: Redden #18 HMWPE twisted knotted netting (3 strand)
 - Trade Names: Spectra® or Dyneema®
 - Material: 100% High Molecular Weight Polyethylene, UV treated, dyed black and urethane coated.

PGPN & PGPN 5 mm



AstroTurf
PRODUCT FACT SHEET

The PGPN system is a dense slit film system supported by a RootZone. This system can be used with or without infill. PGPN is designed for extremely heavy wear, including confined indoor use, pushing sleds, etc.

A shock absorbing pad is required. It may be installed over an existing E-Layer® or other shockpad, or it can be provided from the factory with an attached 5 mm foam polyurethane pad (“PGPN 5 mm”).

PGPN and PGPN 5mm systems benefit from AstroTurf’s legendary quality control protocols, industry-leading R&D efforts, and start to finish control over manufacturing, civil construction and installation.

- ◆ Exclusive, precise in-house fiber masterbatch formulations with cutting edge ultraviolet and heat stabilizers
- ◆ Exceptionally durable slit film face fibers for resistance to wear
- ◆ Entanglement technology, wherein we entangle molecular side chains to reinforce the fiber and prevent splitting
- ◆ RootZone infill stabilization system
- ◆ Multi-layer woven primary backing
- ◆ The latest polyurethane technology to enhance tuft lock, dimensional stability and fiber adhesion, with polymer formulations engineered in Germany and applied in our own American factory
- ◆ Shock absorbing pad required. Available with a 5 mm attached polyurethane pad (PGPN 5 mm)

PGPN & PGPN 5 mm

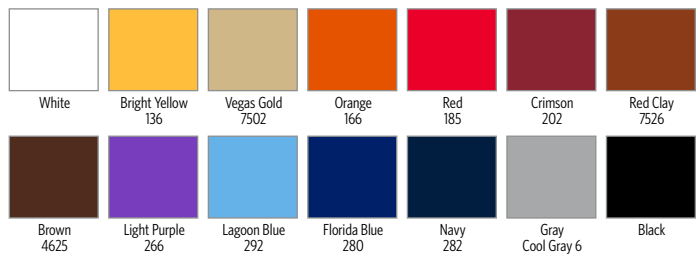
PGPN and PGPN 5mm systems are dense turf systems and can be used with or without infill.



PGPN



PGPN 5mm



Oklahoma State University - Stillwater, OK



Miss Porter's School - Farmington, CT

FINISH FABRIC	VALUE	ASTM TEST METHOD
Face Yarn Type	Polyethylene Slit Film and Nylon RootZone	N/A
Yarn Denier	16,000 (10,000 per end for Slit Film, 8 ends/750 denier per end for RootZone)	D-1577
Yarn Thickness	100 microns	D-3218
Pile Weight	58 oz per SY	D- 5848
Finished Pile Height	0.75"	D-5823
Standard Field Color	Field Green	None
Construction	Tufted	None
Turf Density	2,784 oz/yd ³	HUD 44d
Gauge:	3/16"	D-5793
Primary Backing	8 oz per SY Multilayer PP	D- 5848
Secondary Backing	20 oz per SY Polyurethane (PGPN) / 56 oz per SY Polyurethane foam (PGPN 5 mm)	D- 5848
Total Carpet Weight	86 oz per SY (PGPN) / 122 oz per SY (PGPN 5 mm)	D-5848
Turf Roll Dimensions	15' wide by custom lengths up to 220'	N/A
Perforations	3/16" holes on staggered 4" (approximate) centers	N/A
Turf Permeability	> 30" +/- per hour	F-1551
Tuft Bind	> 8 lbs	D-1335
Grab Tear Strength (Average)	> 200 lbs	D-5034
Lead Content	< 50 ppm	F-2765
Elongation to Break	> 50%	D-2256
Yarn Breaking Strength	> 20 lbs	D-2256
Yarn Melting Point	248° F	D-789
Flammability	TEST PASSED	D-2859

Some of our installations include:

Athens Academy (GA)
 Brigham Young University (UT)
 Diamond Indoor Soccer (NC)
 Facility Suburban Sports Training Center (PA)
 Gilmer County High School (GA)
 City of Lexington (KY)
 Miss Porter's School (CT)

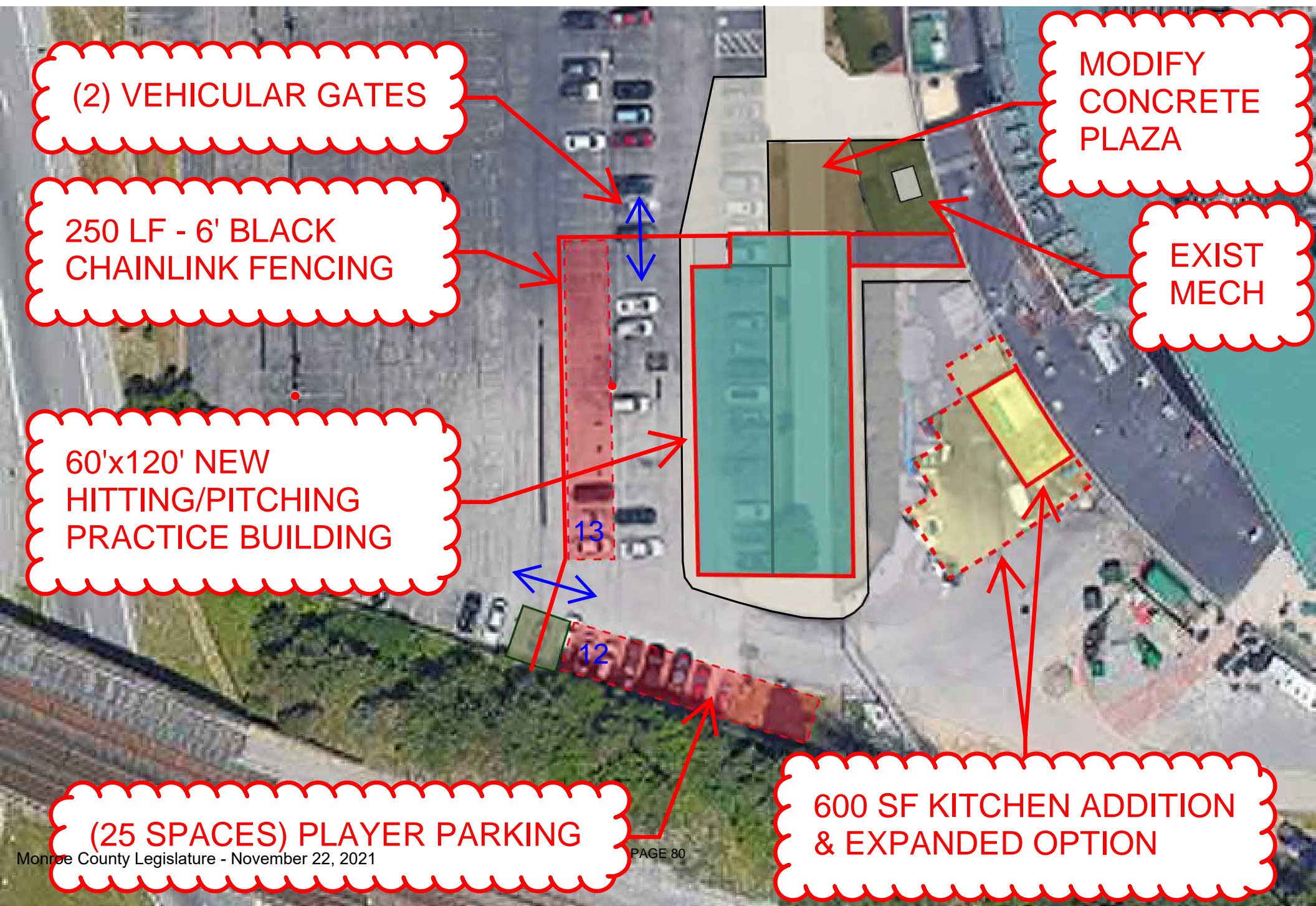
Mount St. Joseph High School (MD)
 Oklahoma State University (OK)
 Spooky Nook (PA)
 St. Lawrence Elementary School (CA)
 St. Monica High School (CA)
 Houston Texans Training Turf (TX)
 Texas A&M University (TX)



Note: Any change from the specified values is considered a special product that will require confirmation from manufacturing prior to ordering. All values are ± 5%. AstroTurf® has the right to modify technical specifications on the above-mentioned product. Delivered products can slightly differ from the technical data. AstroTurf® guarantees the technical quality of the proposed article.



2680 Abutment Rd, Dalton, GA 30721
 (800) 723-TURF help@astroturf.com
 www.astroturf.com @AstroTurfUSA



(2) VEHICULAR GATES

250 LF - 6' BLACK CHAINLINK FENCING

60'x120' NEW HITTING/PITCHING PRACTICE BUILDING

(25 SPACES) PLAYER PARKING

MODIFY CONCRETE PLAZA

EXIST MECH

600 SF KITCHEN ADDITION & EXPANDED OPTION

Fr d
MAINTAIN EXIST
QUEING ZONE

PROVIDE (4) NEW PEDESTRIAN AND
(2) VEHICULAR LIGHTING POLES @
EXTENDED PARKING AREA

MAINTAIN PEDESTRIAN BOLLARD ZONE

EXTEND PARKING - 45 ADDITIONAL CARS

EXIST PARKING LOT POLE LIGHTS

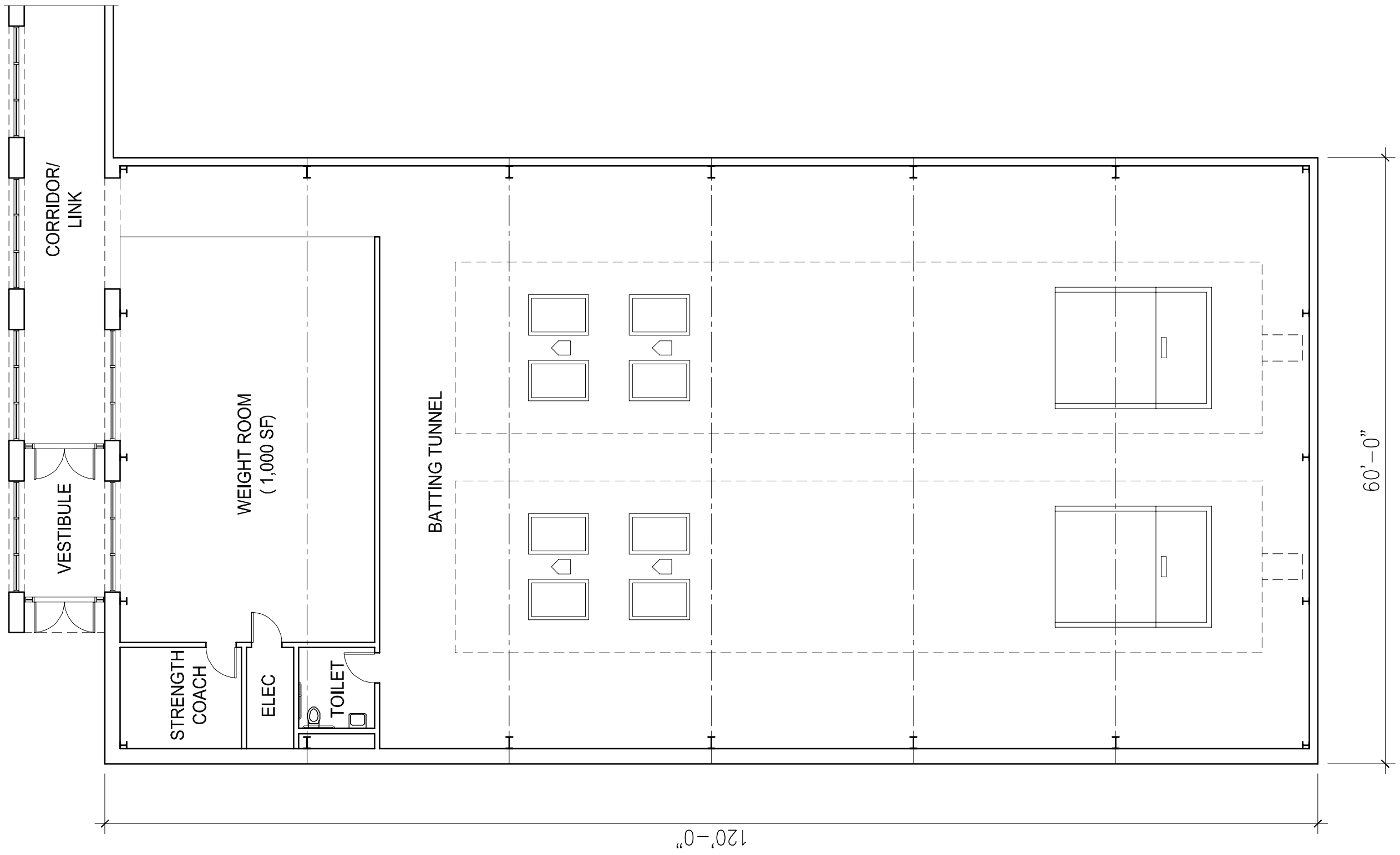
EXIST PARKING BAYS

LP

LP

LP

LP



Cost Estimates



Minor League Baseball (MiLB) Facility Standards Project at Frontier Field

One Morrie Silver Way
Rochester , NY, 14608

Client/Architect's Project Number: {enter}
Stuart-Lynn Company Project Number: 0974

Task 1 Estimate - Revision 3

Date of the Original Estimate: September 8, 2021
Current Revision Date: **October 7, 2021**

Design Architect: **CHA Consulting, Inc**
575 Broadway, Suite 301
Albany, NY 12207

Prepared for: **CHA Consulting, Inc**
575 Broadway, Suite 301
Albany, NY 12207

Stuart-Lynn Company, Inc.
281 Sixth Avenue, 2nd Floor
New York, NY 10014
Tel 212-209-1180
Fax 212-209-1195



**Renovations to the existing Frontier Field
Rochester, NY
Task 1 Estimate**

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Executive Summary

Task 1 Estimate - **Revision 3**
Date of the Original Estimate: September 8, 2021
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(The Executive Summary's Project Grand totals are rounded up to the next \$1,000)

	A VISITOR CLUBHOUSE	B HOME CLUBHOUSE	C PARKING	D BATTING BUILDING	E OUTFIELD WALL PADDING	F SECURITY COMMAND POST	TOTAL PROJECT
PROJECT GRAND TOTAL	\$749,000	\$864,000	\$1,408,000	\$4,906,000	\$462,000	\$185,000	\$8,574,000
PERCENTAGE OF TOTAL	9%	10%	16%	57%	5%	2%	
COST per SQUARE FOOT (or ACRE)	\$129 \$/SF	\$90 \$/SF	\$29 \$/SF	\$681 \$/SF	\$/SF	\$/SF	\$380 \$/SF
GROSS SQUARE FOOT AREA	5,795 SF	9,550 SF	48,370 SF	7,200 SF	SF	SF	22,545 SF
CUMULATIVE MARK-UPS	54%	54%	54%	54%	54%	54%	

ALTERNATES

(The Executive Summary's Alternate totals are rounded up to the next \$100)

1 Additional 1,600 SF area in the Home Clubhouse	ADD	\$1,545,000
2 Replace existing HVAC Equipment	ADD	\$197,000



**Renovations to the existing Frontier Field
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Qualifications

Estimate Phase: Task 1 Estimate - Revision 3
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Qualifications & Assumptions

GENERAL

Client/Architect's Project Number:
Stuart-Lynn Project Number: 0974

Task 1 Documents as prepared by CHA Consulting, Inc. dated August 16, 2021 and August 23,2021.

THIS ESTIMATE HAS BEEN REVISED ON THE FOLLOWING DATES:

September 17, 2021 - Revision 1
September 20, 2021 - Revision 2
October 7, 2021 - Revision 3

The project is for reviewing and identifying necessary renovations to the existing Frontier Field to comply with the New MiLB standards. The renovation requirements will be identified utilizing the MiLB Grading System. The development of the grading system is expected to be highly-collaborative process, involving ll stakehoders (county,team,etc) and maintenance staff to be sure that all items are identified and ranked by impotence and a plan is developed to make the necessary improvements, with the goal of less than 10 compliance points by 2025.

A separate estimate included here isolates the Visitor Clubhouse, Home Clubhouse, Parking, and new Batting building. Two Alternates was included in this submission.

An assumed start date of June 2022 and a completion date of June 2025 equating to a 36 month construction period. Escalation prediction is base on a 4.5% annual rate per year.

STUART-LYNN COMPANY DISCLAIMER

This SLC report was derived from the information provided to our office by others along with the most accurate and responsible understanding of constructability, market conditions, schedule and resource availability by the combined efforts of professionals associated with this work; manipulation of a live document may result in unintended and misleading reporting.

COVID-19 PANDEMIC DISCLAIMER



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Qualifications & Assumptions

As of the date of this estimate, the Covid-19 pandemic is causing volatile material and labor costs. Since this project's start construction date is anticipated to be at least a year in the future, we are minimizing the Covid-19 pandemic markup to 4%. This markup will be adjusted as the project progresses to future phases and/or the severity of the Covid-19 pandemic changes.

MARK-UPS (Mark-ups are cumulative)

Design Contingency 15.0%

The Design Contingency Mark-up is added to account for minor design changes that may occur during the designing of the project. At the Pre-bid or Final phase estimate, this mark-up is eliminated.

General Conditions 8.5%

The General Conditions Mark-up accounts for the legal requirements and costs of the project.

Construction Management Fees 3.0%

The Construction Management Fee accounts for the cost of having a management firm coordinate the project and act as the owner's representative in all aspects of the construction project.

The Construction Management At Risk Fee accounts for the General Contractor's Home Office Overhead and Profit costs for all aspects of the construction project.

Insurance; General Liability 1.5%

This markup covers the required General Liability Insurance that will have to be carried during the construction period.

Bidding/Construction Contingenc 7.5%

The Bidding/Construction Contingency Markup accounts for unforeseen emergencies or design shortfalls identified after the construction project commences.

Completion Bond 0.0%

The Completion Bond is a guarantee given to the owner to assure that the contractor will complete the project. If the contractor completes the project, the bond amount is refunded to the contractor. If the contractor fails to complete the project, the owner is within his/her rights to keep the bond to help complete the project.

Escalation (December/2023) 10.1% (Calculated to the mid point of construction)

The Escalation Mark-up is added to account for the increases in cost that may occur between the date when the final cost is estimated and the mid-point of the construction of the project.

Total Cumulative Mark-up 54.4%

ESTIMATE LABOR RATES

This estimate has been created using Union Labor Rates.



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Qualifications

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Qualifications & Assumptions

AREA CALCULATIONS

GSF measured from exterior face of structure in accordance with American Institute of Architects.

Visitor Clubhouse GSF: internal dimensions =	5,795 sf
Home Clubhouse GSF: internal dimensions =	9,550 sf
Parking GSF =	48,370 sf
Batting Building GSF =	7,200 sf
Sitework around Batting Building GSF =	5,580 sf

ALLOWANCES

Allowance as shown in the body of the estimate.

EXCLUSIONS

Mock up allowance is intended for performance evaluation only.

Hazardous material remediation, asbestos abatement, lead paint abatement, etc.

Monitoring of any adjacent structures.

Vehicular roadwork

FF&E (Furniture, Fixtures & Equipment) such as moveable furniture, desks, outdoor tables & chairs, etc. unless otherwise noted.

Soft costs such as land costs, financing, etc.

Building permit

See SLC Disclaimer on the Qualifications Sheet
0974-EST-Task1-21Sept08 - R3

Printed 10/7/2021

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**Renovations to the existing Frontier Field
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Task 1 Estimate**

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Area Analysis

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- Revision 3

Floor Level / Area	Building Area - GSF	Floor Height
<u>CLUBHOUSE :</u>		
Visitor Clubhouse	5,795 sf	12.00 ft
Home Clubhouse	9,550 sf	12.00 ft
Total Clubhouse GSF excluding external covered areas		15,345 sf
<u>PARKING :</u>		
West Parking Extension	33,810 sf	0.00 ft
Player Parking	14,560 sf	0.00 ft
Total Parking GSF		48,370 sf
<u>BATTING BUILDING :</u>		
Ground Floor - 60' X 120'	7,200 sf	0.00 ft
Total New Batting Building GSF excluding external covered areas		7,200 sf
Exterior work around Batting Tunnel Building	5,580 sf	
Total Project GSF excluding external covered areas		22,545 sf
Total Site (in sf)		53,950 sf

ALTERNATE CLUBHOUSE :

Visitor Clubhouse	38,915 sf	0.00 ft
Home Clubhouse	49,300 sf	0.00 ft
Total Alternate Clubhouse GSF excluding external covered areas		88,215 sf

Note: GSF measured from exterior face of structure in accordance with American Institute of Architects.



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CLUBHOUSE - Level 1 MGE

Estimate Phase: Task 1 Estimate - Revision 3
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GSF AREA 15,345

DIV	DESCRIPTION		SF COST	% of Total	DIV. TOTAL
C	INTERIORS		\$33.06	48.6%	\$507,282
D	SERVICES		\$11.59	17.0%	\$177,923
E	EQUIPMENT AND FURNISHING		\$4.59	6.8%	\$70,500
F	SPECIAL CONSTRUCTIONS AND DEMOLITION		\$7.55	11.1%	\$115,844
Z	GENERAL		\$11.26	16.6%	\$172,854
SUBTOTAL (direct trades)			\$68.06	100.0%	\$1,044,402
Z2020	DESIGN CONTINGENCY	15.0%	\$10.21	9.7%	\$156,660
Z2020	GENERAL CONDITIONS	8.5%	\$6.65	6.3%	\$102,090
Z2020	CONSTRUCTION MANAGEMENT FEES	3.0%	\$2.55	2.4%	\$39,095
Z2020	INSURANCE; GENERAL LIABILITY	1.50%	\$1.31	1.2%	\$20,134
Z2020	BIDDING/CONSTRUCTION CONTINGENCY	7.5%	\$6.66	6.3%	\$102,179
Z2020	COMPLETION BOND	0.0%	\$0.00	0.0%	\$0
Z2020	ESCALATION (DECEMBER/2023)	10.1%	\$9.66	9.2%	\$148,287
GRAND TOTAL			\$105.11	100.0%	\$1,612,846

CLUBHOUSE_LEVEL_1_MAJOR_GROUP_ELEMENT



**Renovations to the existing Frontier Field
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CLUBHOUSE - Level 2 GE

Estimate Phase: Task 1 Estimate
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- Revision 3

GSF AREA 15,345

DIV	SECT	DESCRIPTION	SF COST	SECT. TOTAL	DIV. TOTAL
C10	INTERIOR CONSTRUCTION		\$9.41		\$144,419
	C1010	PARTITIONS	\$3.98	\$61,054	
	C1020	INTERIOR DOORS	\$1.59	\$24,350	
	C1030	SPECIALTIES	\$3.85	\$59,015	
C30	INTERIOR FINISHES		\$23.65		\$362,863
	C3010	WALL FINISHES	\$7.57	\$116,108	
	C3020	FLOOR FINISHES	\$11.73	\$179,960	
	C3030	CEILING FINISHES	\$4.35	\$66,795	
D20	PLUMBING		\$1.85		\$28,448
	D2010	PLUMBING FIXTURES	\$1.21	\$18,520	
	D2020	DOMESTIC WATER DISTRIBUTION	\$0.37	\$5,688	
	D2030	SANITARY WASTE	\$0.28	\$4,241	
D30	HVAC		\$1.16		\$17,867
	D3040	DISTRIBUTION SYSTEMS	\$0.95	\$14,517	
	D3050	TERIMINAL AND PACKAGE UNITS	\$0.22	\$3,350	
D50	ELECTRICAL		\$8.58		\$131,607
	D5010	ELECTRICAL SERVICE AND DISTRIBUTION	\$3.58	\$54,882	
	D5020	LIGHTING AND BRANCH WIRING	\$5.00	\$76,725	
E10	EQUIPMENT		\$4.59		\$70,500
	E1090	OTHER EQUIPMENT	\$4.59	\$70,500	
F20	SELECTIVE BUILDING DEMOLITION		\$7.55		\$115,844
	F2010	BUILDING ELEMENTS DEMOLITION	\$7.55	\$115,844	
Z10	GENERAL		\$11.26		\$172,854
	Z1020	FIELD REQUIREMENTS	\$2.67	\$41,032	
	Z1030	TEMPORARY FACILITIES	\$1.78	\$27,360	
	Z1040	EXAMINATION, PREPARATION AND EXECUTION	\$6.81	\$104,462	
	SUBTOTAL (direct trades)		\$68.06		\$1,044,402
	Z2020	DESIGN CONTINGENCY	15.0%	\$10.21	\$156,660
	Z2020	GENERAL CONDITIONS	8.5%	\$6.65	\$102,090
	Z2020	CONSTRUCTION MANAGEMENT FEES	3.0%	\$2.55	\$39,095

CLUBHOUSE_LEVEL_2_GROUP_ELEMENTS

See SLC Disclaimer on the Qualifications Sheet
0974-EST-Task1-21Sept08 - R3



**Renovations to the existing Frontier Field
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CLUBHOUSE - Level 2 GE

Estimate Phase: Task 1 Estimate
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- Revision 3

GSF AREA 15,345

DIV	SECT	DESCRIPTION	SF COST	SECT. TOTAL	DIV. TOTAL
Z2020		INSURANCE; GENERAL LIABILITY	1.50%	\$1.31	\$20,134
Z2020		BIDDING/CONSTRUCTION CONTINGENCY	7.5%	\$6.66	\$102,179
Z2020		COMPLETION BOND	0.0%	\$0.00	\$0
Z2020		ESCALATION (DECEMBER/2023)	10.1%	\$9.66	\$148,287
GRAND TOTAL			54.4%	\$105.11	\$1,612,846

CLUBHOUSE_LI



**Renovations of the existing Frontier Field
Rochester, NY
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CLUBHOUSE - Level 3 IE

Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
C1010	PARTITIONS					\$61,054
	Visitor's clubhouse					
	Rectification of existing wall - new opening edges	17	lf	50.00	850	
	New GWB rated partition	876	sf	24.00	21,024	
	Infill existing door opening with new GWB rated partition	105	sf	24.00	2,520	
	Home's clubhouse					
	Rectification of existing wall - new opening edges	54	lf	50.00	2,700	
	New GWB rated partition	1,226	sf	24.00	29,424	
	Infill existing door opening with new GWB rated partition	189	sf	24.00	4,536	
C1020	INTERIOR DOORS					\$24,350
	Visitor's Clubhouse					
	New Steel Door and HM frames - <i>including hardware</i>					
	Single	3	ea	1,550.00	4,650	
	Double	1	pr	3,000.00	3,000	
	Painting of doors	5	ea	100.00	500	
	Home's Clubhouse					
	New Steel Door and HM frames - <i>including hardware</i>					
	Single	4	ea	1,550.00	6,200	
	Double	3	pr	3,000.00	9,000	
	Painting of doors	10	ea	100.00	1,000	
C1030	SPECIALTIES					\$59,015
	Visitor's Clubhouse					
	Washroom accessories					
	Soap dispenser	2	ea	95.00	190	
	Waste receptacle	1	ea	400.00	400	
	Mirror	24	sf	40.00	960	
	Counter top	9	lf	200.00	1,800	
	Millwork - kitchen					
	Base cabinet with solid surface counter top	15	lf	550.00	8,250	
	Upper cabinet - wall mounted	15	lf	250.00	3,750	
	Millwork - combined laundry					
	Base cabinet with solid surface counter top	10	lf	550.00	5,500	
	Reposition/reinstall refurbish lockers	47	ea	100.00	4,700	
	Home's Clubhouse					
	Washroom accessories					

CLUBHOUSE_LEVEL_3_INDIVIDUAL_ELEMENTS



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CLUBHOUSE - Level 3 IE

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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Toilet paper dispenser	4	ea	60.00	240	
	Paper towel dispenser	3	ea	350.00	1,050	
	Soap dispenser	3	ea	95.00	285	
	Waste receptacle	3	ea	400.00	1,200	
	Mirror	36	sf	40.00	1,440	
	Grab bar - horizontal, toilet/shower area	5	ea	250.00	1,250	
	Grab bar vertical - shower area	3	ea	200.00	600	
	Sanitary napkin disposal unit	1	ea	600.00	600	
	3'x3' nominal accessible shower unit	3	ea	2,500.00	7,500	
	Folding HC shower seat	3	ea	200.00	600	
	Counter top	9	lf	200.00	1,800	
	Millwork - kitchen					
	Base cabinet with solid surface counter top	15	lf	550.00	8,250	
	Upper cabinet - wall mounted	15	lf	250.00	3,750	
	Reposition/reinstall refurbish lockers	49	ea	100.00	4,900	
C3010	WALL FINISHES					\$116,108
	Visitor's clubhouse					
	Painting of new partitions	1,962	sf	2.00	3,924	
	Painting of existing partitions	12,624	sf	2.00	25,248	
	Ceramic wall tiles	1,764	sf	18.00	31,752	
	Home's clubhouse					
	Painting of new partitions	2,830	sf	2.00	5,660	
	Painting of existing partitions	17,472	sf	2.00	34,944	
	Ceramic wall tiles	810	sf	18.00	14,580	
C3020	FLOOR FINISHES					\$179,960
	Visitor's clubhouse					
	Carpet flooring	260	sy	81.00	21,060	
	Epoxy flooring	1,040	sf	7.50	7,800	
	Ceramic mosaic tile flooring	644	sf	22.00	14,168	
	LVT flooring	328	sf	12.50	4,100	
	Resilient flooring	680	sf	20.00	13,600	
	Rubber base	1,125	lf	6.50	7,313	
	CMT base	81	lf	20.00	1,620	
	Ceramic tile base	115	lf	18.00	2,070	
	Home's clubhouse					
	Carpet flooring	360	sy	81.00	29,160	
	Epoxy flooring	1,025	sf	7.50	7,688	
	Ceramic mosaic tile flooring	622	sf	22.00	13,684	

CLUBHOUSE_LEVEL_3_INDIVIDUAL_ELEMENTS

See SLC Disclaimer on the Qualifications Sheet
0974-EST-Task1-21Sept08 - R3



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CLUBHOUSE - Level 3 IE

Estimate Phase: Task 1 Estimate - Revision 3
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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	LVT flooring	485	sf	12.50	6,063	
	Resilient flooring	1,830	sf	20.00	36,600	
	Rubber base	1,710	lf	6.50	11,115	
	CMT base	70	lf	20.00	1,400	
	Ceramic tile base	140	lf	18.00	2,520	
C3030	CEILING FINISHES					\$66,795
	Visitor's Clubhouse					
	Paint exposed concrete ceiling	4,140	sf	2.50	10,350	
	ACT ceilings	850	sf	8.50	7,225	
	Plaster ceiling- - painted	290	sf	35.00	10,150	
	Home's Clubhouse					
	Paint exposed concrete ceiling	7,180	sf	2.50	17,950	
	ACT ceilings	1,200	sf	8.50	10,200	
	Plaster ceiling- - painted	312	sf	35.00	10,920	
D2010	PLUMBING FIXTURES					\$18,520
	Visitor's Clubhouse					
	New Kitchen sink and dishwasher including installation and rough in	1	lot	1,250.00	1,250	
	New Lavatory and countertop for female staff facility including installation and rough in	2	ea	940.00	1,880	
	Home's Clubhouse					
	New Kitchen sink and dishwasher including installation and rough in	1	lot	1,250.00	1,250	
	New wall mounted toilet including installation and rough in	1	ea	2,650.00	2,650	
	New wall mounted urinal including rough in	1	ea	2,120.00	2,120	
	New Lavatory and countertop including installation and rough in	1	ea	1,930.00	1,930	
	New Shower including installation and rough in	2	ea	2,040.00	4,080	
	Reconfigure fixtures - new rest room layout	168	sf	20.00	3,360	
D2020	DOMESTIC WATER DISTRIBUTION					\$5,688
	Visitor's Clubhouse					
	Domestic hot and cold water piping allowance for new kitchen space	314	sf	3.92	1,231	

CLUBHOUSE_LEVEL_3_INDIVIDUAL_ELEMENTS



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CLUBHOUSE - Level 3 IE

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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Domestic hot and cold water piping allowance for female staff facility	140	sf	3.92	549	
	Domestic hot and cold water piping allowance for for combined laundry including rough in	189	sf	4.50	851	
	Home's Clubhouse					
	Domestic hot and cold water piping allowance for new kitchen space	480	sf	3.92	1,882	
	Domestic hot and cold water piping allowance for h. coaches toilet & shower	132	sf	3.92	517	
	Reconfigure domestic hot and cold water piping - new restroom layout	168	sf	3.92	659	
D2030	SANITARY WASTE					\$4,241
	Visitor's Clubhouse					
	Sanitary and Vent piping allowance for sink and dishwasher in new kitchen space	314	sf	2.98	936	
	Sanitary and Vent piping allowance for female staff facility	140	sf	2.98	417	
	Sanitary and Vent piping allowance for for combined laundry including rough in	189	sf	2.98	563	
	Home's Clubhouse					
	Sanitary and Vent piping allowance for sink and dishwasher in new kitchen space	480	sf	2.98	1,430	
	Sanitary and Vent piping allowance for h. Coaches toilet & shower	132	sf	2.98	393	
	Sanitary and Vent piping allowance for reconfigure new restroom	168	sf	2.98	501	
D3040	DISTRIBUTION SYSTEMS					\$14,517
	Visitor's Clubhouse					
	Modified supply duct work for new Fan Coil Unit - 21 (1.75 lbs / Sq) in visitor kitchen	523	lbs	11.50	6,017	
	Shift ductwork and grille from the community room to new combined laundry	1	allow	5,000.00	5,000	
	Shift exhaust ductwork from the visitor community room to new visitor clubhouse	1	allow	3,500.00	3,500	
D3050	TERMINAL AND PACKAGE UNITS					\$3,350
	Visitor's Clubhouse					

CLUBHOUSE_LEVEL_3_INDIVIDUAL_ELEMENTS



**Renovations of the existing Frontier Field
Rochester, NY
Task 1 Estimate**

281 Sixth Avenue, 2nd Floor
New York, NY 10014
Tel 212-209-1180
Fax 212-209-1195

CLUBHOUSE - Level 3 IE

Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
Current Revision Date: October 7, 2021

SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Demo Existing Fan Coil Unit - 21 in visitor kithchen	1	ea	350.00	350	
	New Fan Coil Unit - 21 in visitor kithchen	1	ea	3,000.00	3,000	
D5010	ELECTRICAL SERVICE AND DISTRIBUTION					\$54,882
	Visitor's Clubhouse					
	Power wiring, junction boxes and outlets in new kitchen space	314	sf	12.00	3,768	
	Power wiring, junction boxes and outlets for combined laundry	189	sf	12.00	2,268	
	Reconfigure power wiring, junction boxes and outlets due to new floor layout	5,292	sf	3.00	15,876	
	Home's Clubhouse					
	Power wiring, junction boxes and outlets in new kitchen space	480	sf	12.00	5,760	
	Reconfigure power wiring, junction boxes and outlets due to new floor layout	9,070	sf	3.00	27,210	
D5020	LIGHTING AND BRANCH WIRING					\$76,725
	Visitor's Clubhouse					
	Reconfigure lighting and branch wiring due to new floor layout	5,795	sf	5.00	28,975	
	Home's Clubhouse					
	Reconfigure lighting and branch wiring due to new floor layout	9,550	sf	5.00	47,750	
E1090	OTHER EQUIPMENT					\$70,500
	Visitor's Clubhouse					
	Dishwasher, built-in - kitchen	1	ea	2,500.00	2,500	
	Washer/Extractors, 65lb - combined laundry	2	ea	15,000.00	30,000	
	Dryers, 100lb - combined laundry	2	ea	15,000.00	30,000	
	Residential washer/dryer	2	ea	4,000.00	8,000	
F2010	BUILDING ELEMENTS DEMOLITION					\$115,844
	Visitor's Clubhouse					
	Saw cut existing wall (for new cased opening)	51	lf	15.00	765	
	Remove Saw cutted existing wall (for new cased opening)	63	sf	10.00	630	

CLUBHOUSE_LEVEL_3_INDIVIDUAL_ELEMENTS



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CLUBHOUSE - Level 3 IE

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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Demolish existing wall	1,332	sf	15.00	19,980	
	Removal of existing door & door frames	5	ea	100.00	500	
	Remove/refurbish/store existing lockers (for re-use)	60	ea	200.00	12,000	
	Remove existing floor finishes	4,538	sf	4.50	20,421	
	Home's Clubhouse					
	Saw cut existing wall (for new cased opening)	54	lf	15.00	810	
	Remove Saw cutted existing wall (for new cased opening)	84	sf	10.00	840	
	Demolish existing wall	936	sf	15.00	14,040	
	Removal of existing door & door frames	10	ea	100.00	1,000	
	Remove/refurbish/store existing lockers (for re-use)	39	ea	200.00	7,800	
	Remove existing floor finishes	8,235	sf	4.50	37,058	

Z1020	FIELD REQUIREMENTS	<i>(Based on Project's Construction Duration)</i>			\$41,032
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Visitor's Clubhouse				
	Allowances			2,303
	Testing and inspection			1,974
	Overtime contingency			4,278
	Shop drawings and submittals			2,154
	Survey and layout data			4,786
Home's Clubhouse				
	Allowances			3,796
	Testing and inspection			3,254
	Overtime contingency			7,050
	Shop drawings and submittals			3,549
	Survey and layout data			7,888

Z1030	TEMPORARY FACILITIES	<i>(Based on the Project's Construction Duration)</i>			\$27,360
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Visitor's Clubhouse				
	Temporary electricity	5 mnths	250.00	1,133
	Temporary vehicular access and parking	5 mnths	100.00	453
	Temporary heating, cooling and ventilation	5 mnths	350.00	1,586
	Temporary water	5 mnths	300.00	1,360
	Temporary field offices and sheds	5 mnths	250.00	1,133
	Temporary sanitary facilities	5 mnths	230.00	1,042
	Temporary protection to existing to remain	5 mnths	450.00	2,039
	Temporary dust barriers	5 mnths	350.00	1,586
Home's Clubhouse				
	Temporary electricity	7 mnths	250.00	1,867

See SLC Disclaimer on the Qualifications Sheet
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CLUBHOUSE_LEVEL_3_INDIVIDUAL_ELEMENTS



**Renovations of the existing Frontier Field
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CLUBHOUSE - Level 3 IE

Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Temporary vehicular access and parking	7	mnths	100.00	747	
	Temporary heating, cooling and ventilation	7	mnths	350.00	2,614	
	Temporary water	7	mnths	300.00	2,240	
	Temporary field offices and sheds	7	mnths	250.00	1,867	
	Temporary sanitary facilities	7	mnths	230.00	1,718	
	Temporary protection to existing to remain	7	mnths	450.00	3,361	
	Temporary dust barriers	7	mnths	350.00	2,614	

Z1040	EXAMINATION, PREPARATION AND EXECUTION	<i>(Based on Project's Constr'n Duration)</i>			\$104,462
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Visitor's Clubhouse						
	OSHA Requirements	5	mnths	2,000.00	9,064	
	Covid-19 pandemic adjustment	4.0%		329,137.76	13,166	
	Phasing - 3% allowance	5	mnths	500.00	2,266	
	Mobilization and demobilization	2	mnths	1,321.77	2,644	
	Construction waste management and disposal	5	mnths	50.00	227	
	Project cleaning during construction	5	mnths	500.00	2,266	
	Final cleaning	1	mnths	755.29	755	
	Project closeout	5	mnths	2,000.00	9,064	
Home's Clubhouse						
	OSHA Requirements	7	mnths	2,000.00	14,936	
	Covid-19 pandemic adjustment	4.0%		542,409.94	21,696	
	Phasing - 3% allowance	7	mnths	500.00	3,734	
	Mobilization and demobilization	2	mnths	2,178.23	4,356	
	Construction waste management and disposal	7	mnths	50.00	373	
	Project cleaning during construction	7	mnths	500.00	3,734	
	Final cleaning	1	mnths	1,244.71	1,245	
	Project closeout	7	mnths	2,000.00	14,936	

CLUBHOUSE_LEVEL_3_INDIVIDUAL_ELEMENTS



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PARKING - Level 1 MGE

Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
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GSF AREA 48,370

DIV	DESCRIPTION		SF COST	% of Total	DIV. TOTAL
G	BUILDING SITEWORK		\$15.72	83.4%	\$760,144
Z	GENERAL		\$3.12	16.6%	\$151,033
SUBTOTAL (direct trades)			\$18.84	100.0%	\$911,177
Z2020	DESIGN CONTINGENCY	15.0%	\$2.83	9.7%	\$136,677
Z2020	GENERAL CONDITIONS	8.5%	\$1.84	6.3%	\$89,068
Z2020	CONSTRUCTION MANAGEMENT FEES	3.0%	\$0.71	2.4%	\$34,108
Z2020	INSURANCE; GENERAL LIABILITY	1.50%	\$0.36	1.2%	\$17,565
Z2020	BIDDING/CONSTRUCTION CONTINGENCY	7.5%	\$1.84	6.3%	\$89,145
Z2020	COMPLETION BOND	0.0%	\$0.00	0.0%	\$0
Z2020	ESCALATION (DECEMBER/2023)	10.1%	\$2.67	9.2%	\$129,371
GRAND TOTAL		54.4%	\$29.09	100.0%	\$1,407,110

PARKING_LEVEL_1_MAJOR_GROUP



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PARKING - Level 2 GE

Estimate Phase: Task 1 Estimate
Date of the Original Estimate: September 8, 2021
Current Revision Date: **October 7, 2021**

- Revision 3

GSF AREA 48,370

DIV	SECT	DESCRIPTION	SF COST	SECT. TOTAL	DIV. TOTAL
G10	SITE PREPARATION		\$5.11		\$247,202
	G1010	SITE CLEARING	\$1.34	\$64,980	
	G1020	SITE GRADING	\$0.16	\$7,627	
	G1030	SITE EARTHWORK	\$3.61	\$174,596	
G20	SITE IMPROVEMENTS		\$9.22		\$445,757
	G2020	PARKING LOTS	\$6.13	\$296,403	
	G2030	PEDESTRIAN PAVING	\$2.84	\$137,354	
	G2040	SITE DEVELOPMENT	\$0.25	\$12,000	
G40	SITE ELECTRICAL UTILITIES		\$1.39		\$67,185
	G4020	SITE LIGHTING	\$0.58	\$28,000	
	G4030	SITE COMMUNICATIONS AND SECURITY	\$0.50	\$24,185	
	G4090	OTHER SITE ELECTRICAL UTILITIES	\$0.31	\$15,000	
Z10	GENERAL		\$3.12		\$151,033
	Z1020	FIELD REQUIREMENTS	\$0.46	\$22,453	
	Z1030	TEMPORARY FACILITIES	\$1.04	\$50,368	
	Z1040	EXAMINATION, PREPARATION AND EXECUTION	\$1.62	\$78,212	
		SUBTOTAL (direct trades)		\$18.84	\$911,177
	Z2020	DESIGN CONTINGENCY	15.0%	\$2.83	\$136,677
	Z2020	GENERAL CONDITIONS	8.5%	\$1.84	\$89,068
	Z2020	CONSTRUCTION MANAGEMENT FEES	3.0%	\$0.71	\$34,108
	Z2020	INSURANCE; GENERAL LIABILITY	1.50%	\$0.36	\$17,565
	Z2020	BIDDING/CONSTRUCTION CONTINGENCY	7.5%	\$1.84	\$89,145
	Z2020	COMPLETION BOND	0.0%	\$0.00	\$0
	Z2020	ESCALATION (DECEMBER/2023)	10.1%	\$2.67	\$129,371
		GRAND TOTAL	54.4%	\$29.09	\$1,407,110

PARKING_LEVEL_2_GROUP_ELEMENTS



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PARKING - Level 3 IE

Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
Current Revision Date: October 7, 2021

SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
G1010	SITE CLEARING					\$64,980
	West Parking extension					
	Remove/clear existing grasses	20,300	sf	0.25	5,075	
	Remove curb and gutters	835	lf	7.50	6,263	
	Saw cut/remove existing walkway	1,670	sf	4.00	6,680	
	Saw cut/remove existing asphalt road/parking	3,625	sf	2.50	9,063	
	Remove existing trees	2	ea	750.00	1,500	
	Player's Parking					
	Saw cut/remove existing asphalt road/parking	14,560	sf	2.50	36,400	
G1020	SITE GRADING					\$7,627
	West Parking extension					
	Smooth grading for new concrete walkway	1,011	sy	1.50	1,517	
	Smooth grading for new parking spaces	2,456	sy	1.50	3,683	
	Player's Parking					
	Smooth grading for new parking spaces	1,618	sy	1.50	2,427	
G1030	SITE EARTHWORK					\$174,596
	West Parking extension					
	Excavate affected area for new parking spaces	1,023	cy	40.00	40,926	
	Hauling to disposal	1,228	cy	15.00	18,417	
	Tipping charge	1,719	ton	20.00	34,378	
	Player's Parking					
	Excavate affected area for new parking spaces	674	cy	40.00	26,963	
	Hauling to disposal	1,254	cy	15.00	18,807	
	Tipping charge	1,755	ton	20.00	35,106	
G2020	PARKING LOTS					\$296,403
	West Parking extension					
	Parking lot pavement (22 spaces)	22,100	\$/sf	6.80		
	1½" Top Course, NYSDOT 402.428903	217	tons	150.67	32,742	
	1½" Binder Course, NYSDOT 402.258903	217	tons	116.00	25,209	
	3" Base course; NYSDOT 402.378903	435	tons	130.93	56,908	
	9" Granular subbase, NYSDOT 304.12	737	cy	32.80	24,162	
	Geotextile fabric	2,824	sy	4.00	11,296	
	Parking space striping					
	Standard space	45	ea	36.50	1,643	
	Parking bumpers,wheel stops - precast	45	ea	250.00	11,250	

JAL_ELEMENTS PARKING_LEVEL_3_INDIVIDUAL_ELEMENTS



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PARKING - Level 3 IE

Estimate Phase: Task 1 Estimate - Revision 3
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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Concrete curbing; NYSDOT 609.04 Straight curbing	490	lf	25.00	12,250	
	Players Parking					
	Parking lot pavement (22 spaces)	14,560	\$/sf	6.80		
	1 1/2" Top Course, NYSDOT 402.428903	143	tons	150.67	21,571	
	1 1/2" Binder Course, NYSDOT 402.258903	143	tons	116.00	16,608	
	3" Base course; NYSDOT 402.378903	286	tons	130.93	37,492	
	9" Granular subbase, NYSDOT 304.12	485	cy	32.80	15,919	
	Geotextile fabric	1,860	sy	4.00	7,442	
	Parking space striping					
	Standard space	25	ea	36.50	913	
	Parking bumpers, wheel stops - precast	25	ea	250.00	6,250	
	Concrete curbing; NYSDOT 609.04 Straight curbing	590	lf	25.00	14,750	
G2030	PEDESTRIAN PAVING					\$137,354
	West Parking extension					
	Concrete sidewalks	9,315	\$/sf	13.71		
	Concrete, 5"	141	cy	650.00	91,943	
	WWM 6 x 6 - W2.1 x W2.1	9,315	sf	2.00	18,630	
	9" Granular subbase, NYSDOT 304.1203006	311	cy	40.00	12,420	
	Geotextile fabric	1,190	sy	4.00	4,761	
	Player's Parking					
	Concrete sidewalks	700	\$/sf	13.71		
	Concrete, 5"	11	cy	650.00	6,909	
	WWM 6 x 6 - W2.1 x W2.1	700	sf	2.00	1,400	
	9" Granular subbase, NYSDOT 304.1203006	23	cy	40.00	933	
	Geotextile fabric	89	sy	4.00	358	
G2040	SITE DEVELOPMENT					\$12,000
	Player's Parking					
	Black chainlink fence - 6' high	250	lf	20.00	5,000	
	Vehicular gates	2	pr	3,500.00	7,000	
G4020	SITE LIGHTING					\$28,000
	West Parking extension					
	Pedestrian lighting poles (complete)	4	ea	4,250.00	17,000	

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LEVEL_3_INDIVIDUAL_ELEMENTS_PARKING_LEVEL_3_INDIVID



**Renovations of the existing Frontier Field
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PARKING - Level 3 IE

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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Vehicular lighting poles <i>(complete)</i>	2	ea	5,500.00	11,000	
G4030	SITE COMMUNICATIONS AND SECURITY					\$24,185
	Security Infrastructure	48,370	gsf	0.50	24,185	
G4090	OTHER SITE ELECTRICAL UTILITIES					\$15,000
	Power and controls to the security gate	1	allow	15,000.00	15,000	
Z1020	FIELD REQUIREMENTS					\$22,453
	<i>(Based on Project's Construction Duration)</i>					
	Allowances				3,800	
	Testing and inspection				3,040	
	Overtime contingency				7,600	
	Shop drawings and submittals				2,487	
	Survey and layout data				5,527	
Z1030	TEMPORARY FACILITIES					\$50,368
	<i>(Based on the Project's Construction Duration)</i>					
	Temporary electricity	12	mnths	264.53	3,174	
	Temporary vehicular access and parking	12	mnths	100.72	1,209	
	Temporary heating, cooling and ventilation	12	mnths	275.00	3,300	
	Temporary water	12	mnths	264.53	3,174	
	Temporary field offices and sheds	12	mnths	250.00	3,000	
	Temporary sanitary facilities	12	mnths	175.78	2,109	
	Temporary cranes	1	mnths	30,000.00	30,000	
	Temporary protection to existing to remain	12	mnths	134.93	1,619	
	Temporary fencing	12	mnths	231.84	2,782	
Z1040	EXAMINATION, PREPARATION AND EXECUTION					\$78,212
	<i>(Based on Project's Constr'n Duration)</i>					
	OSHA Requirements	12	mnths	2,000.00	24,000	
	Covid-19 pandemic adjustment	4.0%		760,144.21	30,406	
	Mobilization and demobilization	2	mnths	3,500.00	7,000	
	Construction waste management and disposal	12	mnths	224.24	2,691	
	Project cleaning during construction	12	mnths	592.91	7,115	
	Final cleaning	1	mnths	1,000.00	1,000	
	Project closeout	12	mnths	500.00	6,000	

PARKING_LEVEL_3_INDIVIDUAL_ELEMENTS PARKING_I



**Renovations to the existing Frontier Field
Rochester, NY
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BATTING BUILDING - Level 1 MGE

Estimate Phase: Task 1 Estimate
Date of the Original Estimate: September 8, 2021
Current Revision Date: **October 7, 2021**

- Revision 3

GSF AREA 7,200

DIV	DESCRIPTION	SF COST	% of Total	DIV. TOTAL	
A	SUBSTRUCTURE	\$42.74	9.7%	\$307,758	
B	SHELL	\$146.05	33.1%	\$1,051,539	
C	INTERIORS	\$41.09	9.3%	\$295,813	
D	SERVICES	\$119.06	27.0%	\$857,205	
F	SPECIAL CONSTRUCTIONS AND DEMOLITION	\$2.50	0.6%	\$18,000	
G	BUILDING SITEWORK	\$32.89	7.5%	\$236,819	
Z	GENERAL	\$56.84	12.9%	\$409,256	
SUBTOTAL (direct trades)		\$441.17	100.0%	\$3,176,389	
Z2020	DESIGN CONTINGENCY	15.0%	\$66.17	9.7%	\$476,458
Z2020	GENERAL CONDITIONS	8.5%	\$43.12	6.3%	\$310,492
Z2020	CONSTRUCTION MANAGEMENT FEES	3.0%	\$16.51	2.4%	\$118,900
Z2020	INSURANCE; GENERAL LIABILITY	1.50%	\$8.50	1.2%	\$61,234
Z2020	BIDDING/CONSTRUCTION CONTINGENCY	7.5%	\$43.16	6.3%	\$310,761
Z2020	COMPLETION BOND	0.0%	\$0.00	0.0%	\$0
Z2020	ESCALATION (DECEMBER/2023)	10.1%	\$62.64	9.2%	\$450,991
GRAND TOTAL		54.4%	\$681.28	100.0%	\$4,905,225

BATTING_BUILDING_LEVEL_1_MAJOR_GROUP_ELEMENTS



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BATTING BUILDING - Level 2 GE

Estimate Phase: Task 1 Estimate
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Current Revision Date: **October 7, 2021**

- Revision 3

GSF AREA 7,200

DIV	SECT	DESCRIPTION	SF COST	SECT. TOTAL	DIV. TOTAL
A10	FOUNDATIONS		\$37.05		\$266,790
	A1010	STANDARD FOUNDATIONS	\$22.55	\$162,390	
	A1030	SLAB ON GRADE	\$14.50	\$104,400	
A20	BASEMENT CONSTRUCTION		\$5.69		\$40,968
	A2010	BASEMENT EXCAVATIONS	\$5.69	\$40,968	
B10	SUPERSTRUCTURE		\$95.54		\$687,852
	B1010	FLOOR CONSTRUCTION	\$51.00	\$367,200	
	B1020	ROOF CONSTRUCTION	\$44.54	\$320,652	
B20	EXTERIOR ENCLOSURES		\$45.41		\$326,967
	B2010	EXTERIOR WALLS	\$10.33	\$74,407	
	B2020	EXTERIOR WINDOWS	\$28.97	\$208,560	
	B2050	EXTERIOR DOORS	\$6.11	\$44,000	
B30	ROOFING		\$5.10		\$36,720
	B3010	ROOF COVERINGS	\$5.10	\$36,720	
C10	INTERIOR CONSTRUCTION		\$15.27		\$109,956
	C1010	PARTITIONS	\$11.61	\$83,556	
	C1020	INTERIOR DOORS	\$0.89	\$6,400	
	C1030	SPECIALTIES	\$2.78	\$20,000	
C30	INTERIOR FINISHES		\$25.81		\$185,857
	C3010	WALL FINISHES	\$2.29	\$16,493	
	C3020	FLOOR FINISHES	\$19.95	\$143,660	
	C3030	CEILING FINISHES	\$3.57	\$25,704	
D20	PLUMBING		\$13.68		\$98,524
	D2010	PLUMBING FIXTURES	\$3.32	\$23,900	
	D2020	DOMESTIC WATER DISTRIBUTION	\$3.92	\$28,224	
	D2030	SANITARY WASTE	\$3.50	\$25,200	
	D2040	RAIN WATER DRAINAGE	\$2.25	\$16,200	
	D2050	SPECIAL PLUMBING SYSTEMS	\$0.69	\$5,000	
D30	HVAC		\$24.87		\$179,081
	D3030	COOLING GENERATING SYSTEMS	\$4.86	\$35,000	

GROUP ELEMENTS BATTING BUILDING LEVEL 2 GROUP ELEMENTS BATTING BUILDING LEVEL 2 GROUP ELEMENTS

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**Renovations to the existing Frontier Field
Rochester, NY
Task 1 Estimate**

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BATTING BUILDING - Level 2 GE

Estimate Phase: Task 1 Estimate
Date of the Original Estimate: September 8, 2021
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- Revision 3

GSF AREA 7,200

DIV	SECT	DESCRIPTION	SF COST	SECT. TOTAL	DIV. TOTAL
	D3040	DISTRIBUTION SYSTEMS	\$17.71	\$127,546	
	D3050	TERIMINAL AND PACKAGE UNITS	\$0.80	\$5,735	
	D3060	CONTROLS AND INSTRUMENTATION	\$1.50	\$10,800	
D40	FIRE PROTECTION		\$10.50		\$75,600
	D4010	FIRE PROTECTION SPRINKLERS SYSTEMS	\$10.50	\$75,600	
D50	ELECTRICAL		\$70.00		\$504,000
	D5010	ELECTRICAL SERVICE AND DISTRIBUTION	\$70.00	\$504,000	
F10	SPECIAL CONSTRUCTION		\$2.50		\$18,000
	F1010	SPECIAL STRUCTURES	\$2.50	\$18,000	
G10	SITE PREPARATION		\$5.44		\$39,135
	G1010	SITE CLEARING	\$0.31	\$2,255	
	G1020	SITE DEMOLITION AND RELOCATIONS	\$5.12	\$36,880	
G20	SITE IMPROVEMENTS		\$16.25		\$116,984
	G2030	PEDESTRIAN PAVING	\$10.44	\$75,134	
	G2040	SITE DEVELOPMENT	\$3.88	\$27,900	
G30	SITE MECHANICAL UTILITIES		\$11.21		\$80,700
	G3010	WATER SUPPLY	\$4.28	\$30,800	
	G3020	SANITARY SEWER	\$3.68	\$26,500	
	G3030	STORM SEWER	\$2.22	\$16,000	
	G3060	FUEL DISTRIBUTION	\$1.03	\$7,400	
Z10	GENERAL		\$56.84		\$409,256
	Z1020	FIELD REQUIREMENTS	\$11.35	\$81,736	
	Z1030	TEMPORARY FACILITIES	\$19.93	\$143,531	
	Z1040	EXAMINATION, PREPARATION AND EXECUTION	\$25.55	\$183,989	
	SUBTOTAL (direct trades)		\$441.17		\$3,176,389
	Z2020	DESIGN CONTINGENCY	15.0%	\$66.17	\$476,458
	Z2020	GENERAL CONDITIONS	8.5%	\$43.12	\$310,492
	Z2020	CONSTRUCTION MANAGEMENT FEES	3.0%	\$16.51	\$118,900
	Z2020	INSURANCE; GENERAL LIABILITY	1.50%	\$8.50	\$61,234
	Z2020	BIDDING/CONSTRUCTION CONTINGENCY	7.5%	\$43.16	\$310,761
	Z2020	COMPLETION BOND	0.0%	\$0.00	\$0

G_BUILDING_LEVEL_2_GROUP_ELEMENTS BATTING_BUILDING_LEVEL_2

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BATTING BUILDING - Level 2 GE

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- Revision 3

GSF AREA 7,200

DIV	SECT	DESCRIPTION	SF COST	SECT. TOTAL	DIV. TOTAL
	Z2020	ESCALATION (DECEMBER/2023)	10.1%	\$62.64	\$450,991
GRAND TOTAL			54.4%	\$681.28	\$4,905,225

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BATTING BUILDING - Level 3 IE

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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
A1010	STANDARD FOUNDATIONS					\$162,390
	3'-0"w x 2'-0" deep continuous wall footing - assume	360	lf	211.11	76,000	
	3'-0" x 3'-0" x 2'-0" deep isolated column footing (4ea) - assume	4	ea	633.33	2,533	
	2'-0" x 2'-0" x 4'-0" high concrete pier	14	ea	888.89	12,444	
	Waterproofing					
	Foundation footing	3,768	sf	16.50	62,172	
	Concrete pier	560	sf	16.50	9,240	
A1030	SLAB ON GRADE					\$104,400
	6" thick slab on grade	7,200	sf	12.50	90,000	
	Water/vapor barrier	7,200	sf	2.00	14,400	
A2010	BASEMENT EXCAVATIONS					\$40,968
	Rough grading	800	sy	1.20	960	
	Fine grading	620	sy	1.50	930	
	Building foundation excavation	328	cy	60.00	19,680	
	Backfill - using excavated soil	294	cy	60.00	17,664	
	Hauling to disposal	40	cy	15.00	605	
	Tipping charge	56	ton	20.00	1,129	
B1010	FLOOR CONSTRUCTION					\$367,200
	Bulter widespan structural steel system - assume 12psf	43	ton	8,500.00	367,200	
B1020	ROOF CONSTRUCTION					\$320,652
	Roof steel framing - assume 5psf	18	ton	8,500.00	156,060	
	Steel decking	7,344	sf	7.50	55,080	
	1/2" Underboard (Densdeck or equivalent)	7,344	sf	2.50	18,360	
	Air/water/vapor barrier	7,344	sf	2.00	14,688	
	5" min polyisocyanurate insulation (R-30 min)	7,344	sf	6.00	44,064	
	Tapered insulation (to form slope to drains)	21,600	bf	1.50	32,400	
B2010	EXTERIOR WALLS					\$74,407
	Exterior Assembly					
	4" Face Brick	1,548	sf	28.00	43,344	

BATTING BUILDING_LEVEL_3_INDIVIDUAL_ELEMENTS

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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Cast stone	103	sf	45.00	4,644	
	Decorative CMU base	413	sf	24.00	9,907	
	4" Continuous rigid insulation	2,064	sf	4.00	8,256	
	Air/water/vapor barrier	2,064	sf	1.50	3,096	
	5/8" Fiberglass mat gypsum sheathing	2,064	sf	2.50	5,160	
	6" Nominal rock wool cavity insulation				in C1010	
	6" Steel stud framing				in C1010	
	5/8" GWB Interior finish (impact resistant)				in C1010	
	North/gable and west walls (follow existing stadium detailing and fenestration)				in C1010	
B2020	EXTERIOR WINDOWS					\$208,560
	Glazed/curtain walls (aluminum storefront systems-kawneer)	948	sf	220.00	208,560	
B2050	EXTERIOR DOORS					\$44,000
	Aluminum/glass entrance door - double	1	pr	16,000.00	16,000	
	Vestibule glass door	1	pr	12,000.00	12,000	
	Aluminum/glass entrance door - single	2	ea	8,000.00	16,000	
B3010	ROOF COVERINGS					\$36,720
	1/2" Overboard (Densdeck or equivalent)	7,344	sf	2.50	18,360	
	EPDM fully adhered membrane	7,344	sf	2.50	18,360	
C1010	PARTITIONS					\$83,556
	Interior side of exterior walls					
	6" Nominal rock wool cavity insulation	2,064	sf	4.50	9,288	
	6" Steel stud framing	2,064	sf	8.50	17,544	
	5/8" GWB Interior finish (impact resistant)	2,064	sf	2.25	4,644	
	North/gable and west walls (follow existing stadium detailing and fenestration)	2,064	sf	5.00	10,320	
	Interior GWB partition	1,740	sf	24.00	41,760	
C1020	INTERIOR DOORS					\$6,400
	Painted HM door and frames (including hardware) - bathrooms					
	Single	2	ea	1,450.00	2,900	
	Painted steel door and frames, fully glazed (including hardware)-batting cage entrance doors)					

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	Single	2	ea	1,750.00	3,500	
C1030	SPECIALTIES					\$20,000
	Bathroom accessories - <i>assume</i>	2	rm	10,000.00	20,000	
C3010	WALL FINISHES					\$16,493
	Painted Interior walls	2,850	sf	2.25	6,413	
	Wall tiles -bathrooms	630	sf	16.00	10,080	
C3020	FLOOR FINISHES					\$143,660
	Turf	4,983	sf	20.00	99,653	
	Clay mound mix profile	1,017	sf	35.00	35,608	
	Surface mat with frame	150	sf	40.00	6,000	
	Floor tiles - bathrooms (<i>assume</i>)	150	sf	16.00	2,400	
C3030	CEILING FINISHES					\$25,704
	Paint exposed ceiling structures	7,344	sf	3.50	25,704	
D2010	PLUMBING FIXTURES					\$23,900
	New Lavatory and countertop including installation and rough in	4	ea	940.00	3,760	
	New wall mounted toilet including installation and rough in	6	ea	2,650.00	15,900	
	New wall mounted urinal including rough in	2	ea	2,120.00	4,240	
D2020	DOMESTIC WATER DISTRIBUTION					\$28,224
	Domestic hot and cold water piping allowance for	7,200	sf	3.92	28,224	
D2030	SANITARY WASTE					\$25,200
	Sanitary and Vent Piping Allowance: Above Grade: Cast Iron Hubless. Below Grade: Cast Iron Service Weight. Includes hangers and firestopping	7,200	sf	3.50	25,200	
D2040	RAIN WATER DRAINAGE					\$16,200

BATTING_BUILDING_LEVEL_3_INDIVIDUAL ELEMENTS



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	Storm Piping to Roof Drains: Cast Iron Hubless:	7,200	st	2.25	16,200	
D2050	SPECIAL PLUMBING SYSTEMS					\$5,000
	Gas piping allowance for packaged unit	1	allow	5,000.00	5,000	
D3030	COOLING GENERATING SYSTEMS					\$35,000
	25-ton packaged unit installed on ground w/housekeeping, pad and gas fired heating unit	1	ea	35,000.00	35,000	
D3040	DISTRIBUTION SYSTEMS					\$127,546
	New Supply air ductwork (1.75 lbs / sf)	12,600	lbs	9.50	119,700	
	Exhaust ductwork (1.1 lbs / sf)	308	lbs	9.50	2,926	
	Exhaust Fans	2	ea	2,460.00	4,920	
D3050	TERIMINAL AND PACKAGE UNITS					\$5,735
	1 Ton ductless split unit with Air Cooled Condenser,VRV pump and piping	1	ea	5,735.00	5,735	
D3060	CONTROLS AND INSTRUMENTATION					\$10,800
	Local Temp Control	7,200	sf	1.50	10,800	
D4010	FIRE PROTECTION SPRINKLERS SYSTEMS					\$75,600
	Fire protection system	7,200	sf	10.50	75,600	
D5010	ELECTRICAL SERVICE AND DISTRIBUTION					\$504,000
	Electrical system including panel fed from main distribution panelboard located in electrical rm 231, conduit, wiring, outlets,lighting controls, lighting fixtures, emergency lighting, and transformer to feed panel for distribution in the new batting cages.	7,200	sf	70.00	504,000	
F1010	SPECIAL STRUCTURES					\$18,000
	Batting cages (retractable, cable-supported) - 14'h x 15'w x 90'l (allowance)	4	ea	4,500.00	18,000	

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3 - INDIVIDUAL ELEMENTS BATTING BUILDING - LEVEL 3 - INDI



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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
G1010	SITE CLEARING					\$2,255
	Remove/clear existing grasses	6,020	sf	0.25	1,505	
	Remove existing trees	1	ea	750.00	750	
G1020	SITE DEMOLITION AND RELOCATIONS					\$36,880
	Saw cut/remove existing asphalt road/parking	7,875	sf	3.00	23,625	
	Remove curb and gutters	320	lf	7.50	2,400	
	Saw cut/remove existing walkway	1,670	sf	6.50	10,855	
G2030	PEDESTRIAN PAVING					\$75,134
	Concrete sidewalks	5,580	\$/sf	13.46		
	Concrete, 5"	85	cy	650.00	55,077	
	WWM 6 x 6 - W2.1 x W2.1	5,580	sf	1.75	9,765	
	9" Granular subbase, NYSDOT 304.12030064	186	cy	40.00	7,440	
	Geotextile fabric	713	sy	4.00	2,852	
G2040	SITE DEVELOPMENT					\$27,900
	Modification of existing concrete plaza to remain	5,580	sf	5.00	27,900	
G2050	LANDSCAPING					\$13,950
	Landscaping - allowance	1,395	sf	10.00	13,950	
G3010	WATER SUPPLY					\$30,800
	Domestic water service (includes trenching and backfill)	20	lf	500.00	10,000	
	Connection to existing public water line	1	ea	1,000.00	1,000	
	Shut-off valve - 3" gate valve	1	ea	1,400.00	1,400	
	Fire service (includes trenching and backfill)	20	lf	750.00	15,000	
	Connection to existing public water line	1	ea	1,000.00	1,000	
	Shut-off valve - 6" gate valve	1	ea	2,400.00	2,400	
G3020	SANITARY SEWER					\$26,500
	8" Combined sewer service (includes trenching and backfill)	20	lf	1,250.00	25,000	
	Connection to existing public sewer line	1	ea	1,500.00	1,500	

BATTING BUILDING LEVEL

LEVEL 3 INDIVIDUAL ELEMENTS



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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
G3030	STORM SEWER					\$16,000
	6" Storm service <i>(includes trenching and backfill)</i>	20	lf	750.00	15,000	
	Connection to existing public storm line	1	ea	1,000.00	1,000	
G3060	FUEL DISTRIBUTION					\$7,400
	2" Gas service <i>(includes trenching and backfill)</i>	20	lf	250.00	5,000	
	Connection to existing public gas line	1	ea	1,000.00	1,000	
	Shut-off valve - 3" gas valve	1	ea	1,400.00	1,400	
Z1020	FIELD REQUIREMENTS					\$81,736
						<i>(Based on Project's Construction Duration)</i>
	Allowances				13,832	
	Testing and inspection				11,066	
	Overtime contingency				27,665	
	Shop drawings and submittals				9,054	
	Survey and layout data				20,120	
Z1030	TEMPORARY FACILITIES					\$143,531
						<i>(Based on the Project's Construction Duration)</i>
	Temporary electricity	12	mnths	481.48	5,835	
	Temporary vehicular access and parking	12	mnths	366.65	4,443	
	Temporary heating, cooling and ventilation	12	mnths	646.13	7,830	
	Temporary water	12	mnths	481.48	5,835	
	Temporary field offices and sheds	12	mnths	366.65	4,443	
	Temporary sanitary facilities	12	mnths	316.84	3,840	
	Temporary bridges	12	mnths	177.10	2,125	
	Temporary cranes	3	mnths	30,000.00	90,000	
	Temporary protection to existing to remain	12	mnths	491.17	5,952	
	Temporary dust barriers	12	mnths	366.65	4,443	
	Temporary fencing	12	mnths	428.91	5,198	
	Temporary protective walkways	6	mnths	177.10	1,073	
	Temporary erosion control	6	mnths	138.36	838	
	Temporary pest control	12	mnths	138.36	1,677	
Z1040	EXAMINATION, PREPARATION AND EXECUTION					\$183,989
						<i>(Based on Project's Constr'n Duration)</i>
	OSHA Requirements	12	mnths	2,000.00	24,237	
	Covid-19 pandemic adjustment	4.0%		2,767,133.30	110,685	
	Phasing - 3% allowance	12	mnths	500.00	6,059	
	Mobilization and demobilization	2	mnths	5,000.00	10,000	

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BATTING_BUILDING
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SECT	DESCRIPTION	QTY	UNIT	TOTAL UNIT PRICE	MATERIAL AND LABOR TOTAL COST	TRADE COST
	Construction waste management and disposal	12	mnths	50.00	606	
	Project cleaning during construction	12	mnths	550.00	6,665	
	Final cleaning	1	mnths	1,500.00	1,500	
	Project closeout	12	mnths	2,000.00	24,237	

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Alternate 1

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SECT	DESCRIPTION	QTY	UNIT	UNIT PRICE	ITEM COST	TRADE COST
ALT 1	ADDITIONAL 1,600 SF AREA IN THE HOME CLUBHOUSE				ADD	\$1,545,000
	Add :					
A1010	STANDARD FOUNDATIONS					\$66,415
	Home's Clubhouse					
	Wall footing, continuous - assume 3'-0" w x 1'-6" deep	34	cy	950.00	32,617	
	Column footing - assume 3'-0" x 3'-0" x 1'-6"	2	cy	950.00	1,425	
	Waterproofing					
	Foundation footing	1,962	sf	16.50	32,373	
A1030	SLAB ON GRADE					\$23,200
	Home's Clubhouse					
	Slab on grade - 6" thick	1,600	sf	12.50	20,000	
	Water/vapor barrier	1,600	sf	2.00	3,200	
A2010	BASEMENT EXCAVATIONS					\$233,947
	Home's Clubhouse					
	Building foundation excavation	985	cy	60.00	59,111	
	Hauling to disposal	1,182	cy	15.00	17,733	
	Tipping charge	1,655	ton	20.00	33,102	
	Support of excavation (soldier pile and wood lagging)	2,600	sf	40.00	104,000	
	Lateral bracing for reinforced concrete caissons that are to be exposed - allowance	1	allow	20,000.00	20,000	
A2020	BASEMENT WALLS					\$145,090
	Home's Clubhouse					
	12" thick foundation walls, 17'-0" high	80	cy	1,500.00	119,944	
	Waterproofing	1,524	sf	16.50	25,146	
B1010	FLOOR CONSTRUCTION					\$59,840
	Home's Clubhouse					
	Steel Framing - assume 8psf	7	ton	8,500.00	59,840	
B1020	ROOF CONSTRUCTION					\$83,000
	Home's Clubhouse					
	Steel Framing - assume 5psf	4	ton	8,500.00	37,400	
	Steel decking	1,600	sf	7.50	12,000	
	Concrete on steel deck	1,600	sf	14.50	23,200	
	Concourse topping slab	1,600	sf	6.50	10,400	

ALTERNATE



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SECT	DESCRIPTION	QTY	UNIT	UNIT PRICE	ITEM COST	TRADE COST
C1010	PARTITIONS					\$71,232
	Visitor's clubhouse					
	New GWB rated partition	168	sf	24.00	4,032	
	Home's clubhouse					
	New GWB rated partition	2,800	sf	24.00	67,200	
C1020	INTERIOR DOORS					\$9,800
	Visitor's Clubhouse					
	New Steel Door and HM frames - <i>including hardwares</i>					
	Single	1	ea	1,550.00	1,550	
	Painting of doors	1	ea	100.00	100	
	Home's Clubhouse					
	New Steel Door and HM frames - <i>including hardwares</i>					
	Single	3	ea	1,550.00	4,650	
	Double	1	pr	3,000.00	3,000	
	Painting of doors	5	ea	100.00	500	
C1030	SPECIALTIES					\$0
	Visitor's Clubhouse					
	Millwork - combined laundry					
	Base cabinet with solid surface counter top	(5)	lf	550.00	(2,750)	
	Home's Clubhouse					
	Millwork - combined laundry					
	Base cabinet with solid surface counter top	5	lf	550.00	2,750	
C3010	WALL FINISHES					\$14,920
	Visitor's clubhouse					
	Painting of new partitions	336	sf	2.00	672	
	Home's Clubhouse					
	Foundation walls	1,524	sf	2.00	3,048	
	Painting of new partitions	5,600	sf	2.00	11,200	
C3020	FLOOR FINISHES					\$24,445
	Home's clubhouse					
	Carpet flooring	12	sy	81.00	990	
	Epoxy flooring	610	sf	7.50	4,575	
	Resilient flooring	800	sf	20.00	16,000	
	Rubber base	443	lf	6.50	2,880	
C3030	CEILING FINISHES					\$4,000
	Home's Clubhouse					
	Paint exposed concrete ceiling	1,600	sf	2.50	4,000	



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SECT	DESCRIPTION	QTY	UNIT	UNIT PRICE	ITEM COST	TRADE COST
D2010	PLUMBING FIXTURES					\$15,950
	New Lavatory and countertop for female staff facility including installation and rough in	4	ea	940.00	3,760	
	New wall mounted toilet including installation and rough in	3	ea	2,650.00	7,950	
	New wall mounted urinal including rough in	2	ea	2,120.00	4,240	
D2020	DOMESTIC WATER DISTRIBUTION					\$5,958
	Domestic hot and cold water piping allowance for new restrooms	1,520	sf	3.92	5,958	
D2030	SANITARY WASTE					\$5,320
	Sanitary and Vent Piping Allowance: Above Grade: Cast Iron Hubless. Below Grade: Cast Iron Service Weight. Includes hangers and firestopping for new restrooms	1,520	sf	3.50	5,320	
D2040	RAIN WATER DRAINAGE					\$3,420
	Storm Piping to Roof Drains: Cast Iron Hubless: Includes hangers and firestopping	1,520	sf	2.25	3,420	
D3040	DISTRIBUTION SYSTEMS					\$37,974
	New Supply air ductwork (1.75 lbs / Sq)	2,660	lbs	11.50	30,590	
	Exhaust ductwork (1.1 lbs / sf)	308	lbs	8.00	2,464	
	Exhaust Fans	2	ea	2,460.00	4,920	
D3050	TERMINAL AND PACKAGE UNITS					\$10,000
	New Fan coil Unit supplied by dual temp glycol system	4	ea	2,500.00	10,000	
D3060	CONTROLS AND INSTRUMENTATION					\$1,400
	Local Temp Control	4	ea	350.00	1,400	
D4010	FIRE PROTECTION SPRINKLERS SYSTEMS					\$15,960
	New sprinkler piping and heads	1,520	sf	10.50	15,960	
D5010	ELECTRICAL SERVICE AND DISTRIBUTION					\$27,360
	Power wiring, junction boxes outlets and lighting fixtures	1,520	sf	18.00	27,360	

ALTERNATE



**Renovations of the existing Frontier Field
Rochester, NY
Task 1 Estimate**

281 Sixth Avenue 2nd Floor
New York, NY 10014
Tel 212-209-1180
Fax 212-209-1195

Alternate 1

Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
Current Revision Date: **October 7, 2021**

SECT	DESCRIPTION	QTY	UNIT	UNIT PRICE	ITEM COST	TRADE COST
E1090	OTHER EQUIPMENT					\$0
	Visitor's Clubhouse					
	Washer/Extractors, 65lb - combined laundry	(1)	ea	15,000.00	(15,000)	
	Dryers, 100lb - combined laundry	(1)	ea	15,000.00	(15,000)	
	Residential washer/dryer	(1)	ea	4,000.00	(4,000)	
	Home's Clubhouse					
	Washer/Extractors, 65lb - combined laundry	1	ea	15,000.00	15,000	
	Dryers, 100lb - combined laundry	1	ea	15,000.00	15,000	
	Residential washer/dryer	1	ea	4,000.00	4,000	
F2010	BUILDING ELEMENTS DEMOLITION					\$15,960
	Home's Clubhouse					
	Saw cut existing foundation wall	24	lf	50.00	1,200	
	Remove Saw cutted existing foundation wall	984	sf	15.00	14,760	
Z1020	FIELD REQUIREMENTS					\$11,184
	Home's Clubhouse					
	Allowances				1,011	
	Testing and inspection				5,250	
	Overtime contingency				1,877	
	Shop drawings and submittals				945	
	Survey and layout data				2,100	
Z1030	TEMPORARY FACILITIES					\$43,680
	Home's Clubhouse					
	Temporary electricity	6	mnths	250.00	1,500	
	Temporary vehicular access and parking	6	mnths	100.00	600	
	Temporary heating, cooling and ventilation	6	mnths	350.00	2,100	
	Temporary water	6	mnths	300.00	1,800	
	Temporary field offices and sheds	6	mnths	250.00	1,500	
	Temporary sanitary facilities	6	mnths	230.00	1,380	
	Temporary protection to existing to remain	6	mnths	450.00	2,700	
	Temporary dust barriers	6	mnths	350.00	2,100	
	Temporary cranes	1	mnths	30,000.00	30,000	
Z1040	EXAMINATION, PREPARATION AND EXECUTION					\$70,208
	Home's Clubhouse					
	OSHA Requirements	6	mnths	2,000.00	12,000	
	Covid-19 pandemic adjustment	4.0%		875,190.68	35,008	
	Phasing - 3% allowance	6	mnths	500.00	3,000	
	Mobilization and demobilization	2	mnths	1,500.00	3,000	
	Construction waste management and disposal	6	mnths	200.00	1,200	
	Project cleaning during construction	6	mnths	500.00	3,000	



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Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
Current Revision Date: October 7, 2021

SECT	DESCRIPTION	QTY	UNIT	UNIT PRICE	ITEM COST	TRADE COST
	Final cleaning		1 mnths	1,000.00	1,000	
	Project closeout		6 mnths	2,000.00	12,000	
Mark up			54.4%			\$544,420

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**Renovations of the existing Frontier Field
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Alternate 2

Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
Current Revision Date: October 7, 2021

SECT	DESCRIPTION	QTY	UNIT	UNIT PRICE	ITEM COST	TRADE COST
ALT 2	REPLACE EXISTING HVAC EQUIPMENT				ADD	\$197,000
	Add :					
D3040	DISTRIBUTION SYSTEMS					\$75,000
	Allowance for demolition of existing Air	1	ea	3,000.00	3,000	
	DOAS 1 Dedicatedoutside air system w/	8,000	CFM	7.50	60,000	
	Crane rental with operator	2	day	6,000.00	12,000	
D3050	TERIMINAL AND PACKAGE UNITS					\$52,250
	Demo Existing Fan Coil Unit - 21 in visitor	19	ea	250.00	4,750	
	New Fan coil Unit supplied by dual temp glycol	19	ea	2,500.00	47,500	
	Mark up			54.4%		\$69,259

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**Renovations to the existing Frontier Field
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Task 1 Estimate**

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Check & Verification



Estimate Phase: Task 1 Estimate - Revision 3
Date of the Original Estimate: September 8, 2021
Current Revision Date: October 7, 2021

Task 1 Estimate	Initials	Date
Author/Reviewed by	BV,TM/HK	09/08/21
Scope and Pricing	BV,TM	09/08/21
Authorized for Issue	BV	09/08/21

Previous Submission Phase	Initials	Date
Author	/	



ATTACHMENTS:

Description File Name

▣ Referral R21-0474.pdf



Office of the County Executive

Monroe County, New York

Adam J. Bello
County Executive

November 19, 2021

OFFICIAL FILE COPY
No. <u>210474</u>
Not to be removed from the Office of the Legislature of Monroe County
Committee Assignment ENV. & PUB. WORKS
WAYS & MEANS

To The Honorable
Monroe County Legislature
407 County Office Building
Rochester, New York 14614

Subject: Amend the 2021-2026 Capital Improvement Program and the 2021 Capital Budget to Add a Project Entitled "Monroe Community College Sports Facility Lighting Project," Authorize Financing for the Project, Authorize Contracts with the Dormitory Authority of the State of New York

Honorable Legislators:

I recommend that Your Honorable Body amend the 2021-2026 Capital Improvement Program and the 2021 Capital Budget to add a project entitled "Monroe Community College Sports Facility Lighting Project," in the amount of \$1,000,000, authorize financing for the project in the amount of \$1,000,000, and Authorize Contracts with the Dormitory Authority of the State of New York.

Monroe Community College has expressed an interest in adding lighting to the sports facilities at the Brighton Campus. This will allow the College to more fully utilize the facilities for evening and night sporting events, which are currently limited due to the lack of proper lighting infrastructure. The project involves adding new pole-mounted, high efficiency LED lighting, initially at the soccer field, to allow use of the field beyond dusk for practice and competitive events. Partial reimbursement of 50% for project costs will be requested from SUNY upon establishment of the Resolution and the capital fund.

This project was approved by the Monroe County Planning Board at its meeting on November 18, 2021.

The specific legislative actions required are:

1. Amend the 2021-2026 Capital Improvement Program to add a project entitled "Monroe Community College Sports Facility Lighting Project," in the amount of \$1,000,000.
2. Amend the 2021 Capital Budget to add a project entitled "Monroe Community College Sports Facility Lighting Project," in the amount of \$1,000,000.
3. Authorize financing for the project entitled "Monroe Community College Sports Facility Lighting Project," in the amount of \$1,000,000.
4. Authorize the County Executive, or his designee, to execute contracts with the Dormitory Authority of the State of New York to purchase fixtures and equipment for the Sports Facility Lighting Project, and any amendments necessary to complete the project within the total capital fund(s) appropriation.

110 County Office Building • 39 West Main Street • Rochester, New York 14614
(585) 753-1000 • fax: (585) 753-1014 • www.monroecounty.gov • e-mail: countyexecutive@monroecounty.gov

This action is a Type II Action pursuant to 6 NYCRR §617.5(c)(9) (“construction or expansion of a primary or accessory/appurtenant, nonresidential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls, but not radio communication or microwave transmission facilities”) and (10) (“routine activities of educational institutions, including expansion of existing facilities by less than 10,000 square feet of gross floor area and school closings, but not changes in use related to such closings”) and is not subject to further review under the State Environmental Quality Review Act.

Funding for this project, consistent with authorized uses, will be included in the capital fund to be created and any other capital fund(s) created for the same intended purpose. No additional net County support is required in the current Monroe County budget.

I recommend that this matter be referred to the appropriate committee(s) for favorable action by Your Honorable Body.

Sincerely,


Adam J. Bello
Monroe County Executive

AJB:db

NOV 19 2021